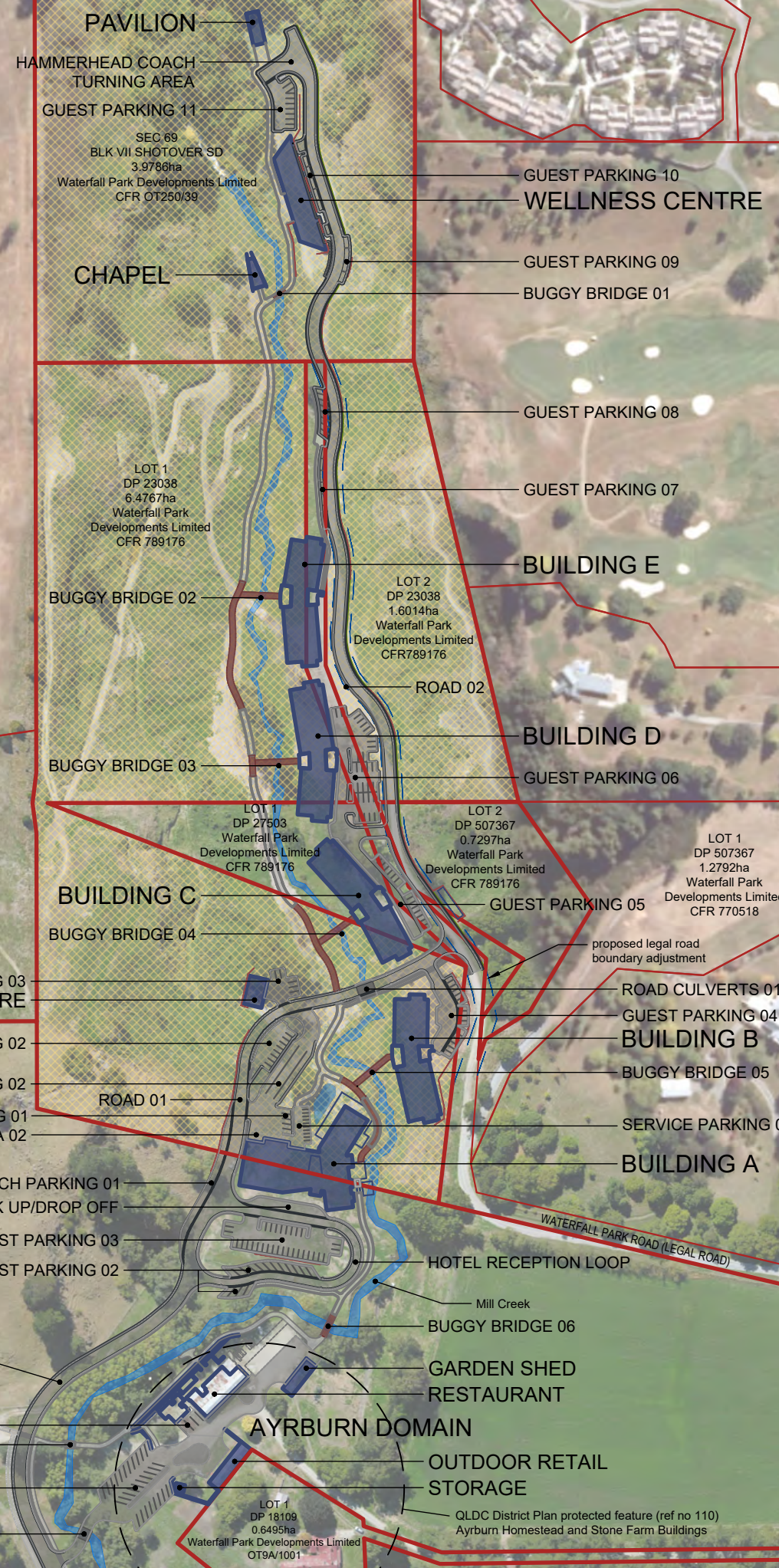
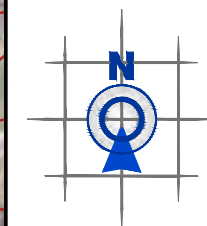


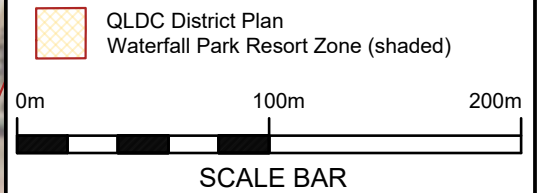
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APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019



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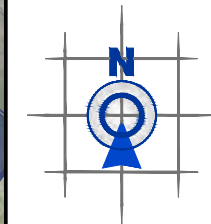
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Client/Location:  
**Waterfall Park Developments Ltd**  
 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel  
 Roding and Carpark Design  
 Overview**

Surveys by:	PPG	Original Size:	Scale:
Designed by:	SJP	A3	1:3000
Drawn by:	SJP		
Checked by:	SJW	<b>DO NOT SCALE</b>	
Approved by:			
Job Ref:	Q6388 - 15	Sheet No:	1
		Revision No:	D
		Date Created:	02/07/2018



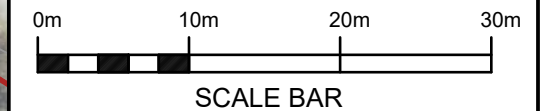


KEY:

- legal boundary
- proposed Waterfall Park Road boundary
- retaining wall
- building
- overland stormwater flow
- stormwater pipe
- sump
- ⊙ manhole

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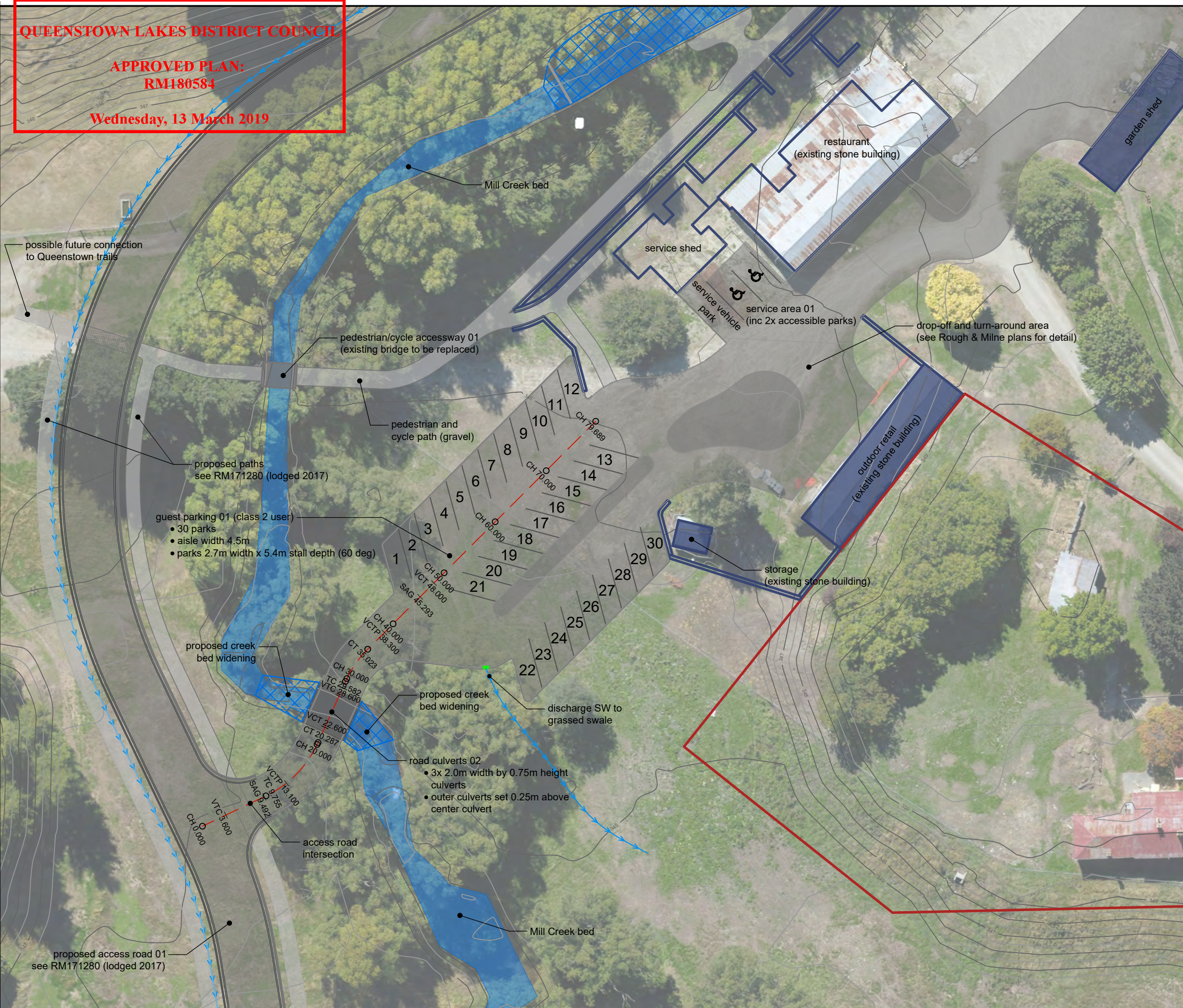
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 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel  
 Roding and Carpark Design  
 Ayrburn Domain**

Surveyed by:	PPG	Original Size:	Scale:
Designed by:	SJP	A3	1:500
Drawn by:	SJP		
Checked by:	SJW	<b>DO NOT SCALE</b>	
Approved by:		Job Ref:	Sheet No:
		Q6388 - 22	2
		Revision No:	Date Created:
		D	02/07/2018

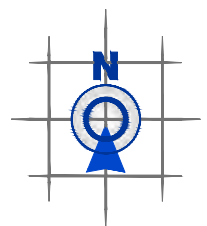
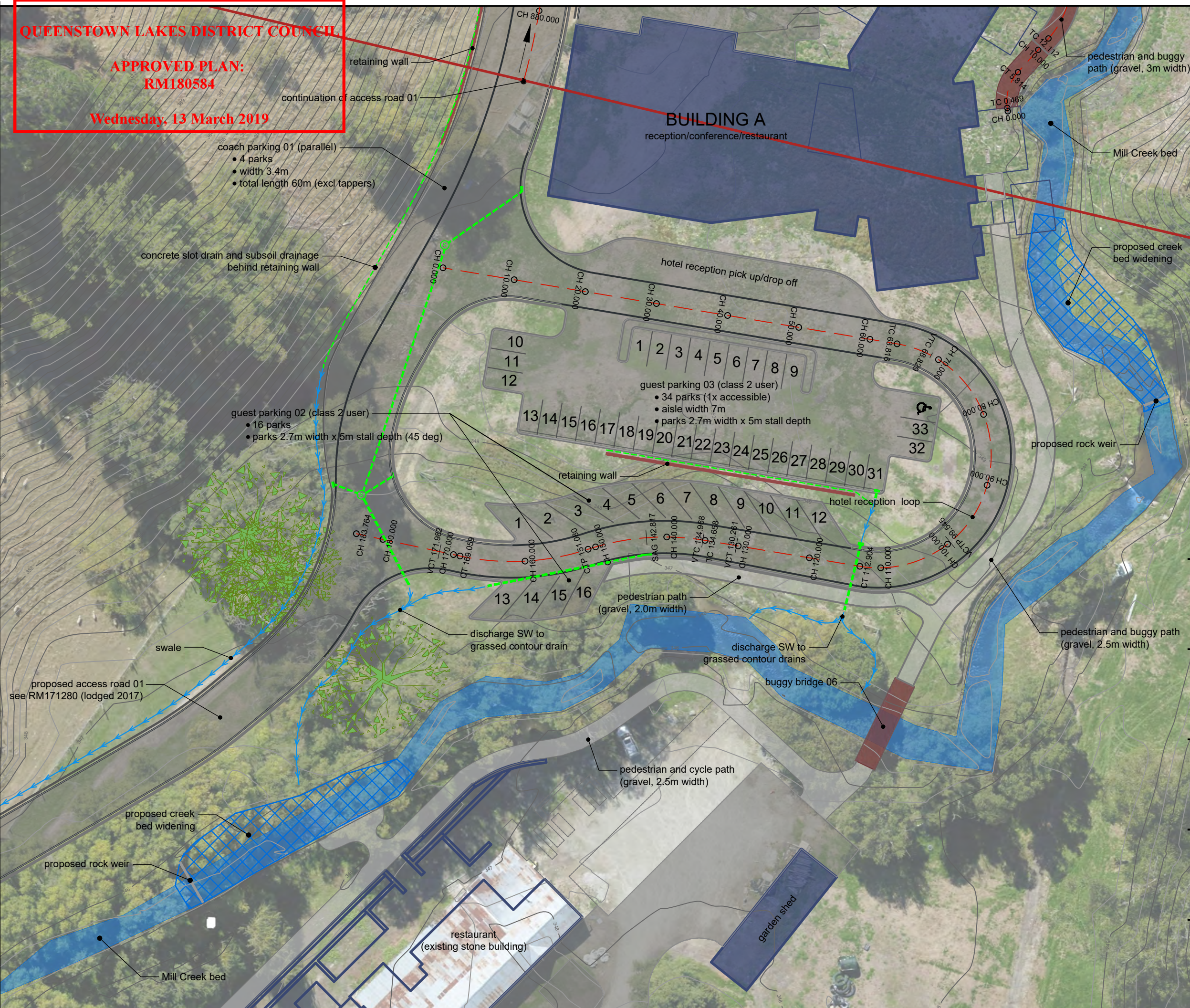




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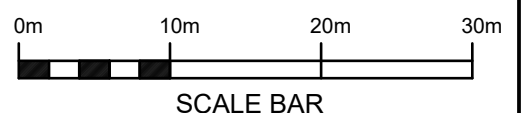
**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



- KEY:**
- legal boundary
  - proposed Waterfall Park Road boundary
  - retaining wall
  - building
  - overland stormwater flow
  - stormwater pipe
  - sump
  - ⊙ manhole

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 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Hotel Reception area**

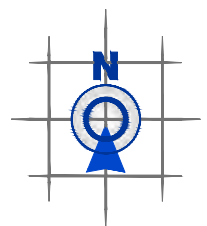
Surveyed by:	PPG	Original Size:	Scale:
Designed by:	SJP	<b>A3</b>	<b>1:500</b>
Drawn by:	SJP		
Checked by:	SJW		
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	3
		Revision No:	D
		Date Created:	02/07/2018



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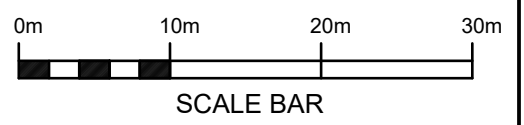
**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Service Area and Coach Parking**

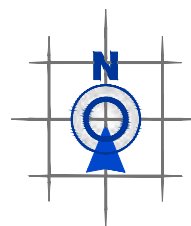
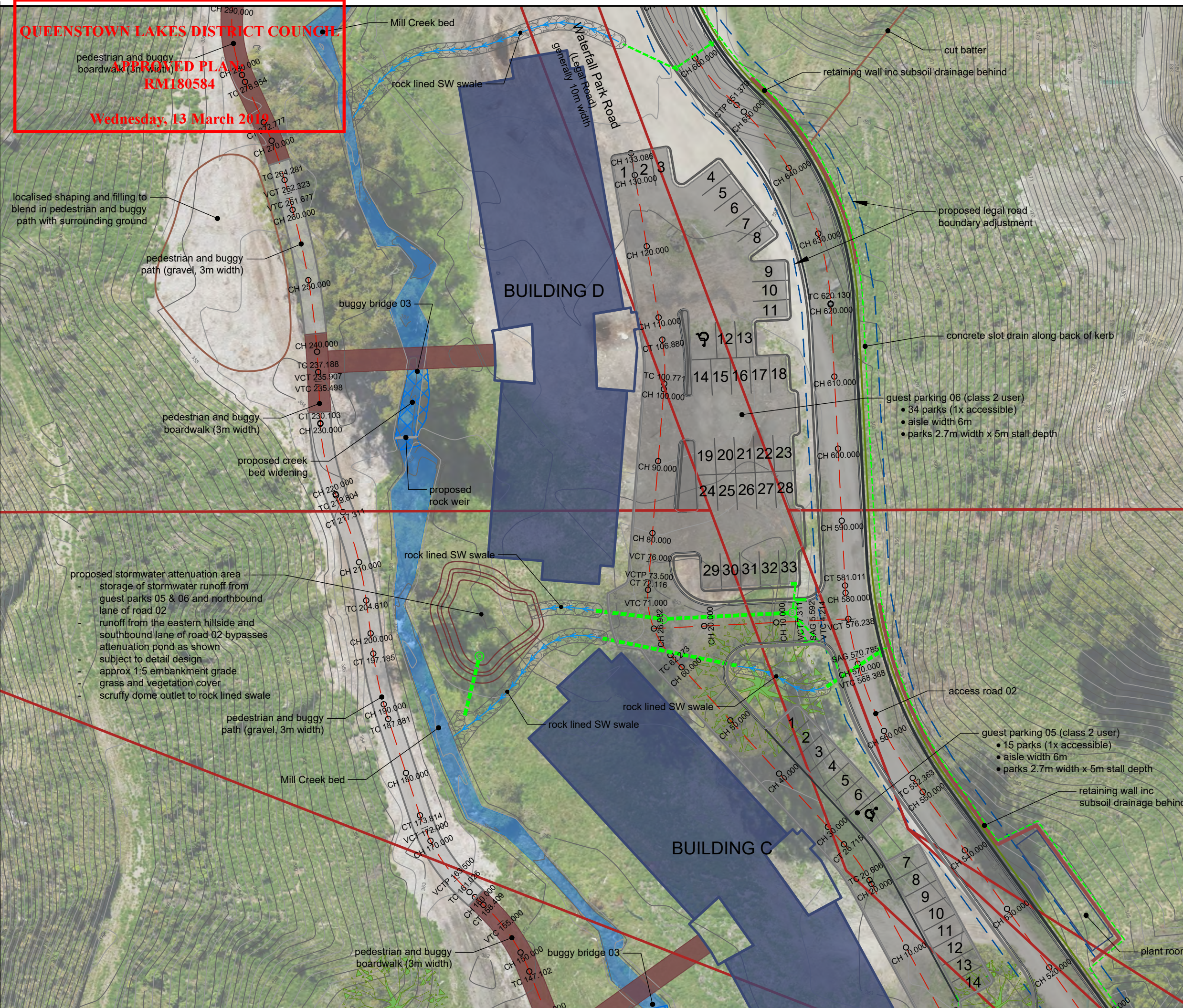
Surveyed by:	PPG	Original Size:	Scale:
Designed by:	SJP	<b>A3</b>	<b>1:500</b>
Drawn by:	SJP		
Checked by:	SJW		
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	4
		Revision No:	D
		Date Created:	02/07/2018



**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN**  
**RM180584**

**Wednesday, 13 March 2019**



- KEY:**
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  - retaining wall
  - building
  - overland stormwater flow
  - stormwater pipe
  - sump
  - manhole

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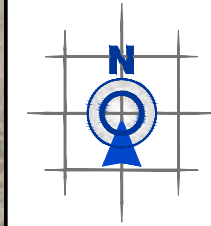
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 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Access Road 02 and Buggy Path**

Surveyed by:	PPG	Original Size:	Scale:
Designed by:	SJP	A3	1:500
Drawn by:	SJP		
Checked by:	SJW	<b>DO NOT SCALE</b>	
Approved by:			
Job Ref:	Q6388 - 22	Sheet No:	Revision No:
		5	D
		Date Created:	02/07/2018



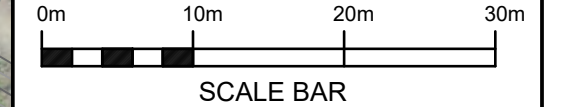


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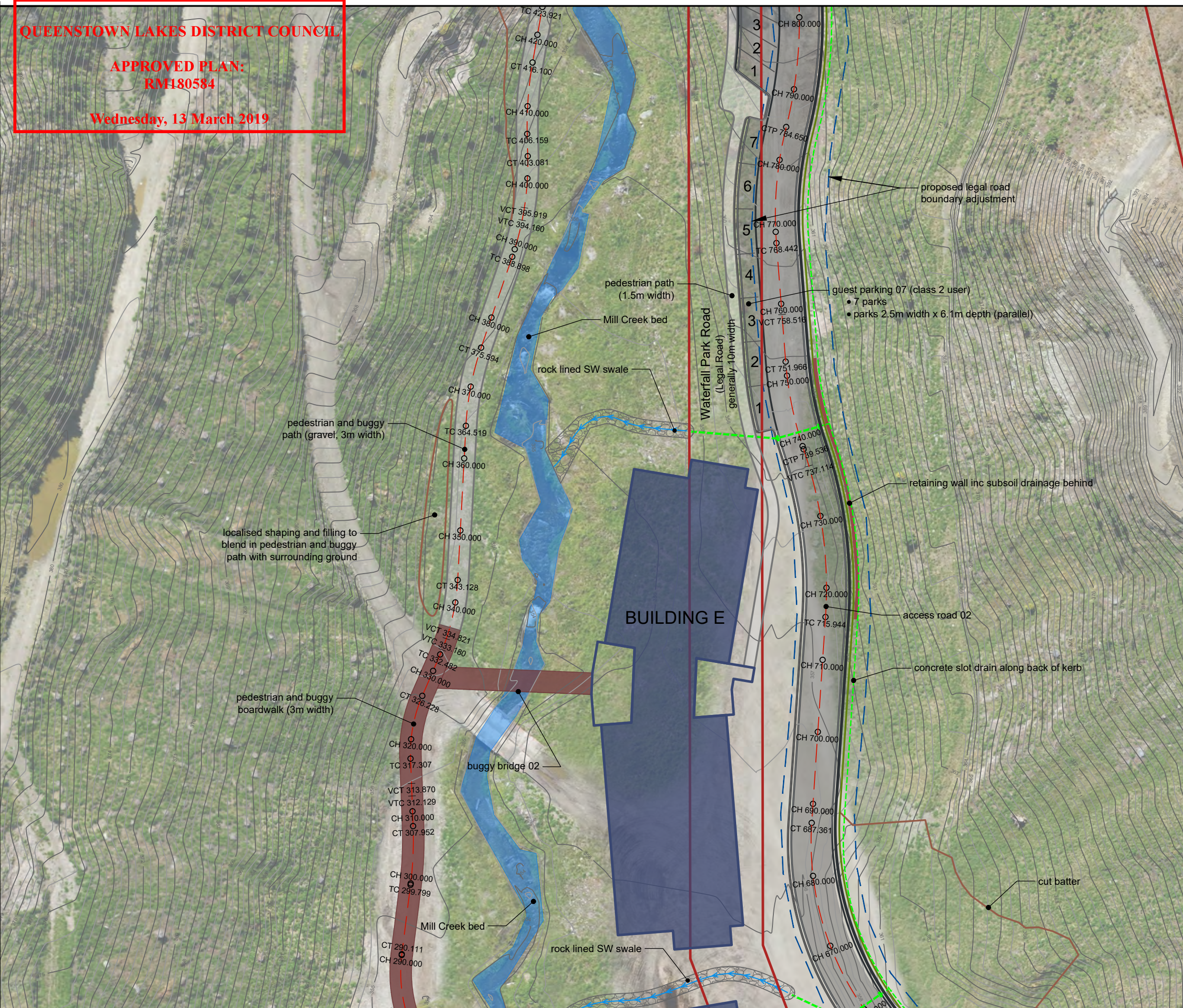
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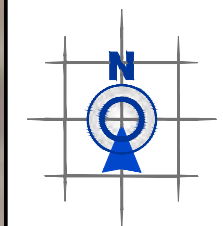
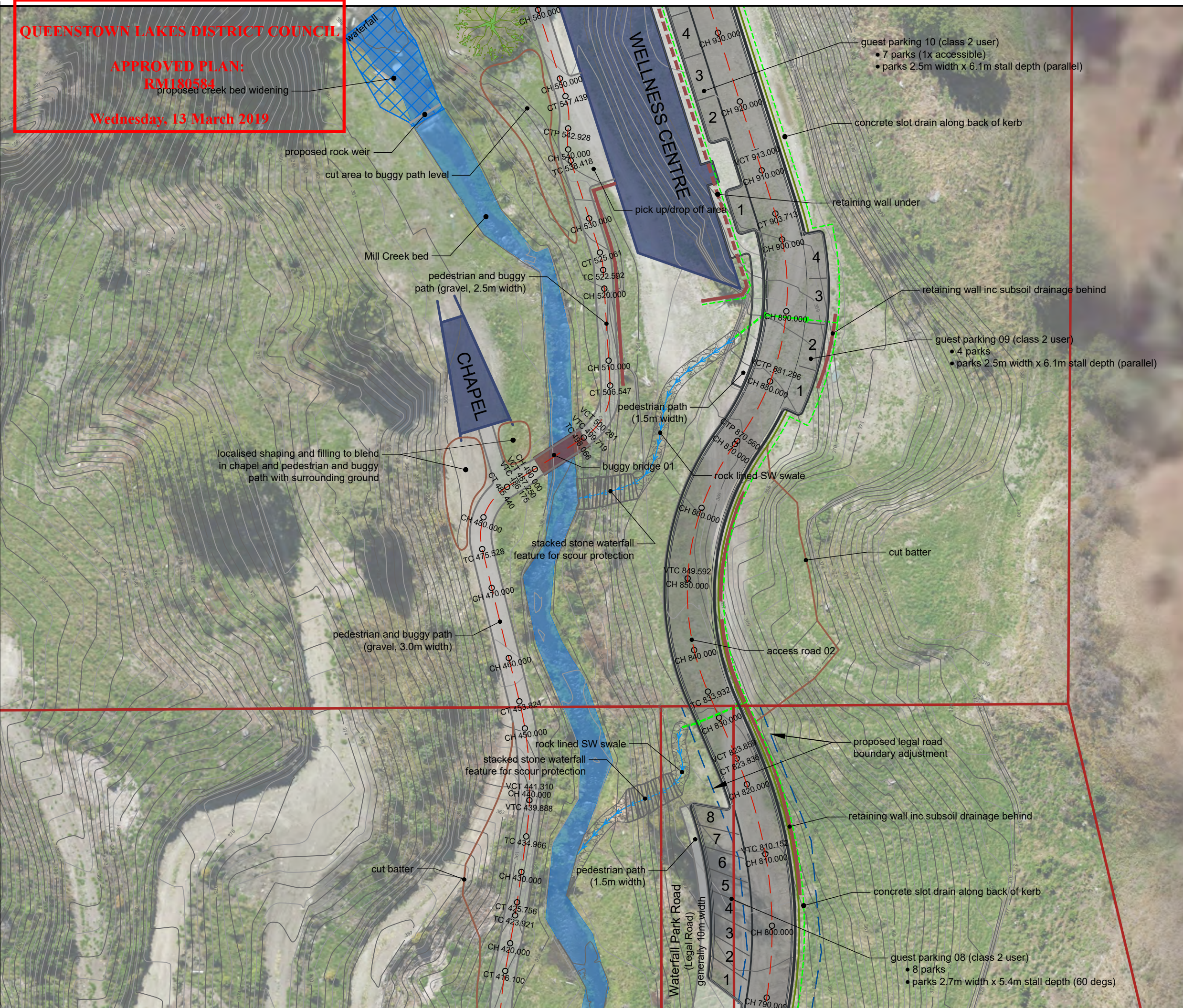
Client/Location:  
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 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
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 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Access Road 02 and Buggy Path**

Surveyed by:	PPG	Original Size:	Scale:	1:500
Designed by:	SJP	<b>A3</b>	<b>DO NOT SCALE</b>	
Drawn by:	SJP			
Checked by:	SJW			
Approved by:				
Job Ref:	Q6388 - 22	Sheet No:	6	Date Created:
		Revision No:	D	02/07/2018

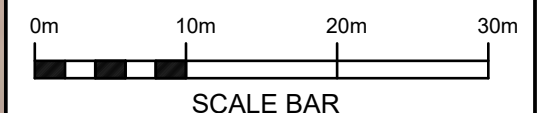






- KEY:**
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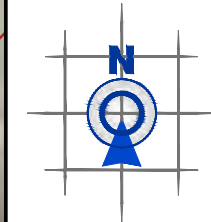
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 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Access Road 02 and Buggy Path**

Surveyed by: PPG	Original Size: A3	Scale: 1:500
Designed by: SJP	A3	DO NOT SCALE
Drawn by: SJP		
Checked by: SJW		
Approved by:	Sheet No: 7	Revision No: D
Job Ref: Q6388 - 22	Date Created: 02/07/2018	



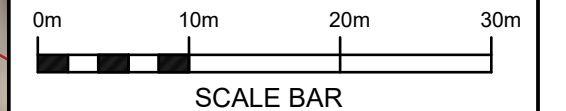


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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Access Road 02 and Coach**  
**Turn-around**

Surveyed by:	PPG	Original Size:	Scale:
Designed by:	SJP	A3	1:500
Drawn by:	SJP		
Checked by:	SJW	<b>DO NOT SCALE</b>	
Approved by:			
Job Ref:	Q6388 - 22	Sheet No:	8
		Revision No:	D
		Date Created:	02/07/2018

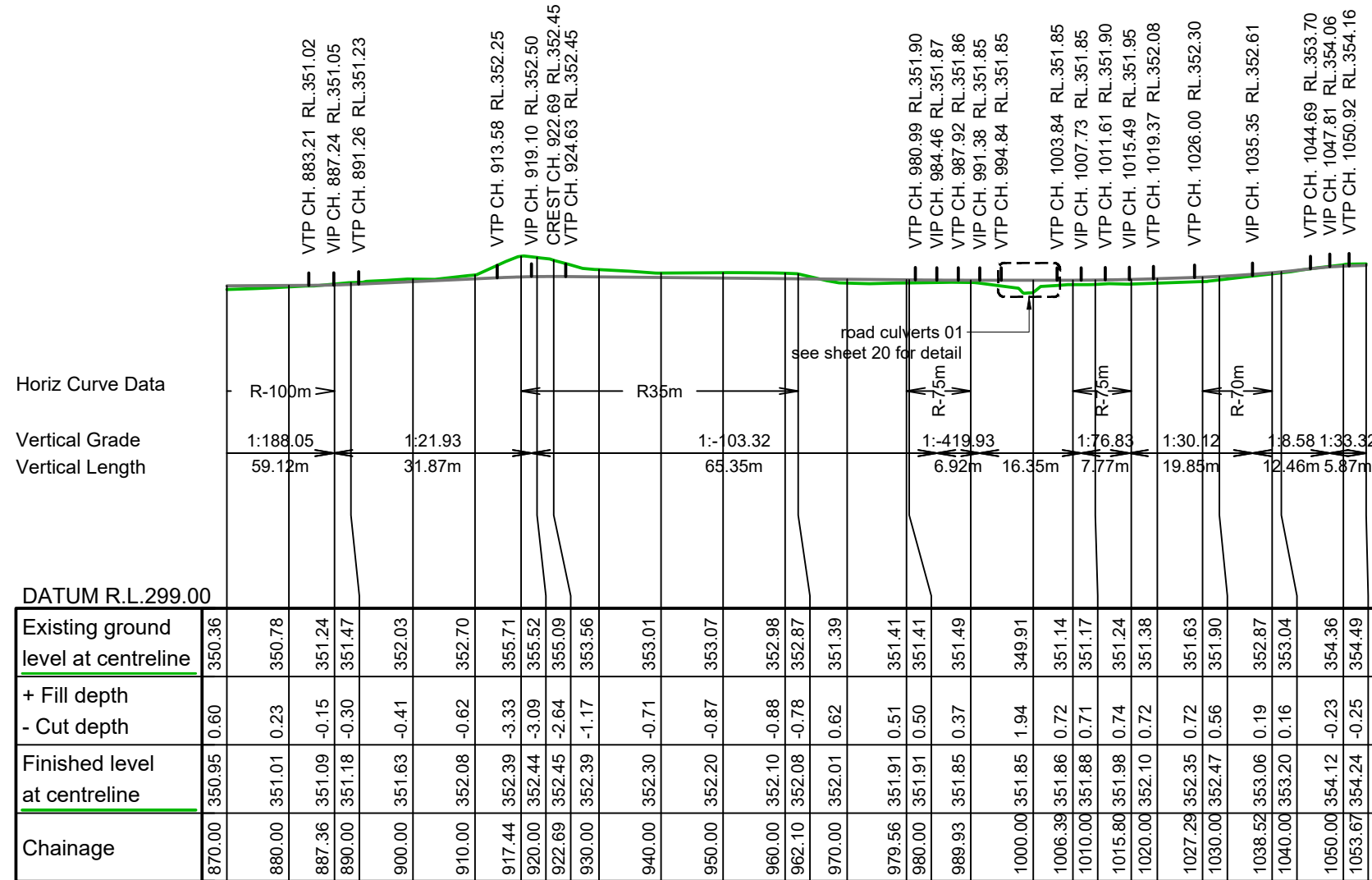




**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



DATUM R.L.299.00	
Existing ground level at centreline	350.36
+ Fill depth	0.60
- Cut depth	0.23
Finished level at centreline	351.01
Chainage	870.00
	880.00
	887.36
	890.00
	900.00
	910.00
	917.44
	920.00
	922.69
	930.00
	940.00
	950.00
	960.00
	962.10
	970.00
	979.56
	980.00
	989.93
	1000.00
	1006.39
	1010.00
	1015.80
	1020.00
	1027.29
	1030.00
	1038.52
	1040.00
	1050.00
	1053.67

SCALE 1:1000 horizontal  
1:1000 vertical

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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Road 01 Longsection**  
**CH870m - CH1054m**

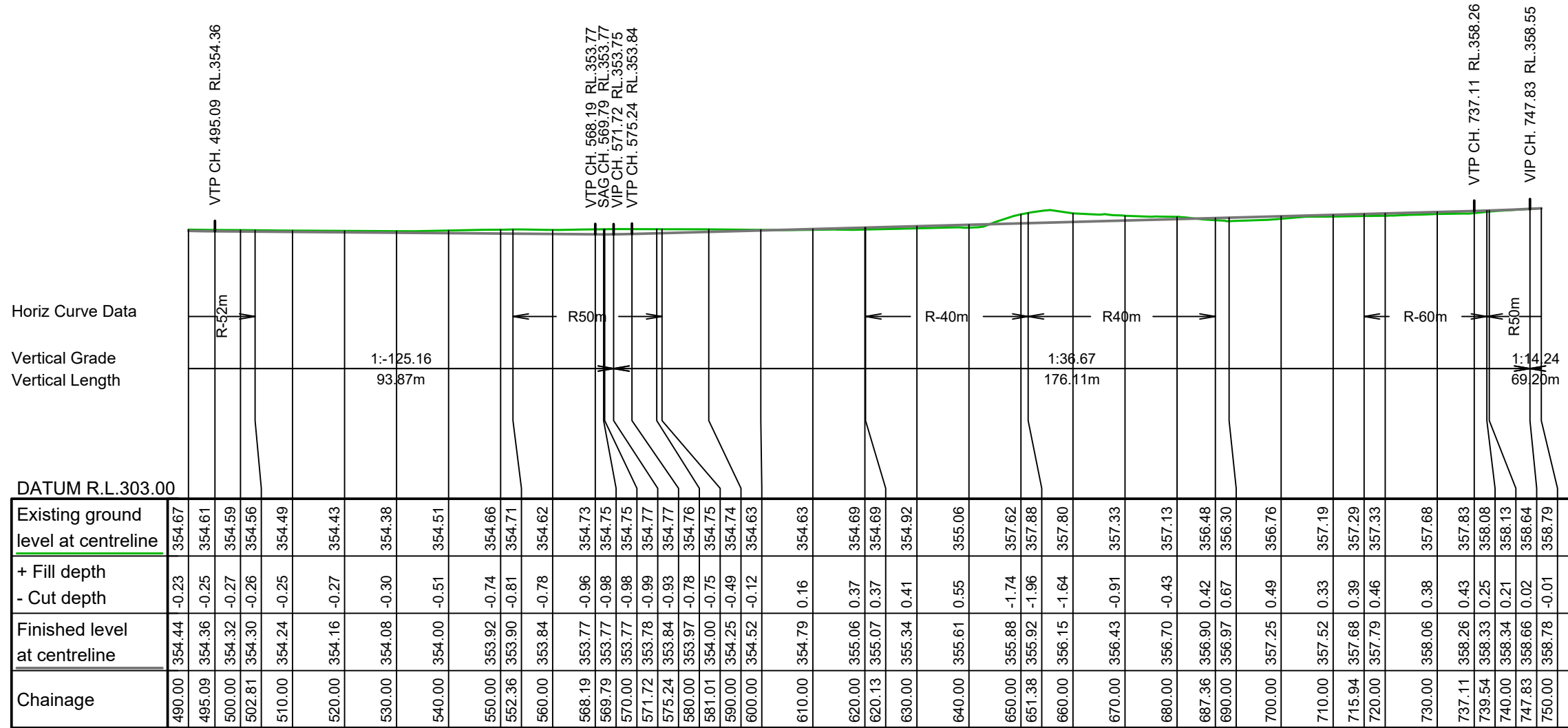
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Checked by:	SJW		
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	9
		Revision No:	C
		Date Created:	29/05/2018



**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



SCALE 1:1000 horizontal  
1:1000 vertical

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Client/Location:  
**Waterfall Park Developments Ltd**  
 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
 Roding and Carpark Design  
 Road 02 Longsection  
 CH490m - CH750m

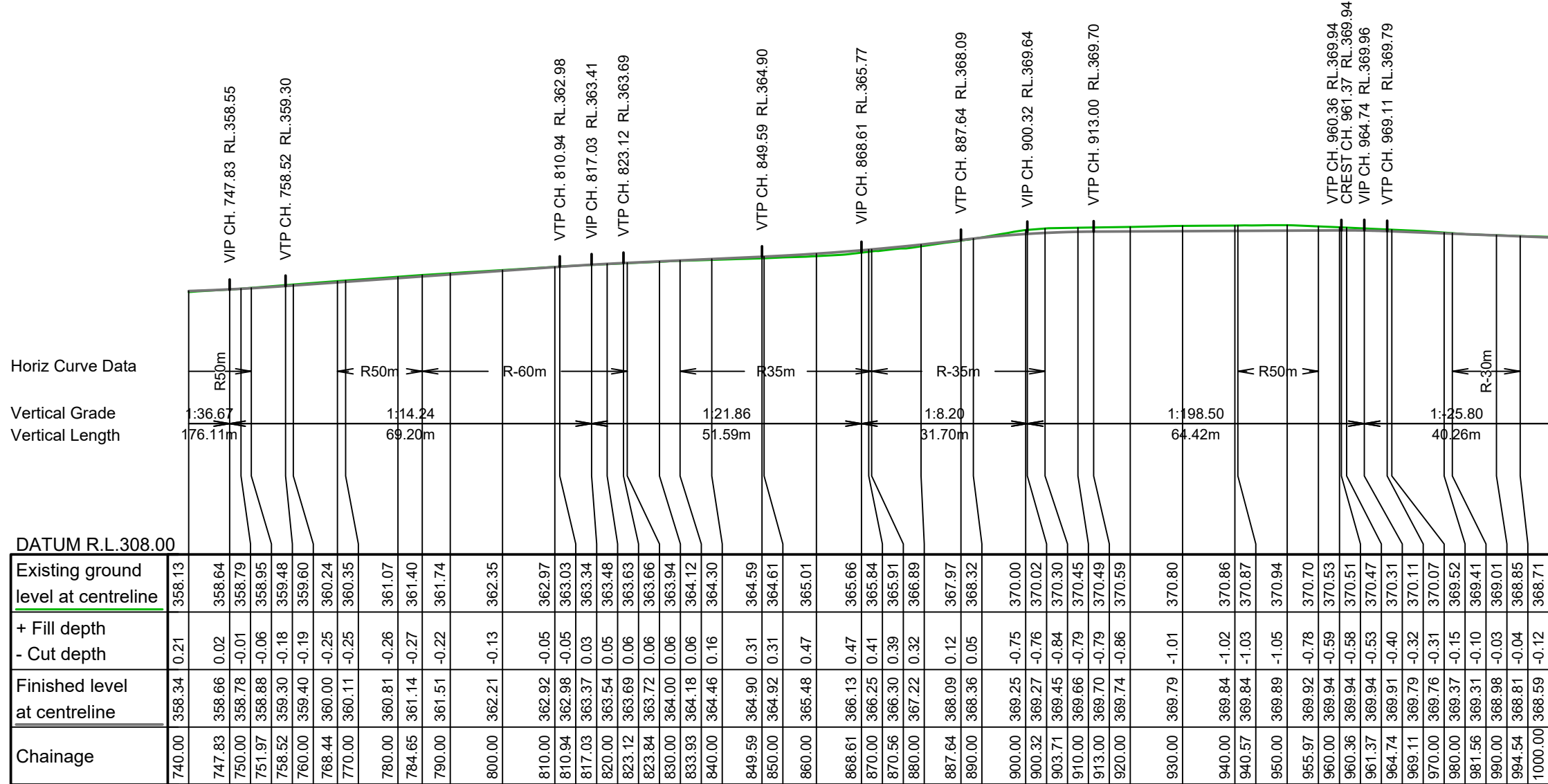
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Approved by:		DO NOT SCALE	
Job Ref:	Sheet No:	Revision No:	Date Created:
Q6388 - 22	10	C	29/05/2018



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**APPROVED PLAN:  
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**Wednesday, 13 March 2019**



DATUM R.L.308.00

SCALE 1:1000 horizontal  
1:1000 vertical

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 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
 Roding and Carpark Design  
 Road 02 Longsection  
 CH740m - CH1000m

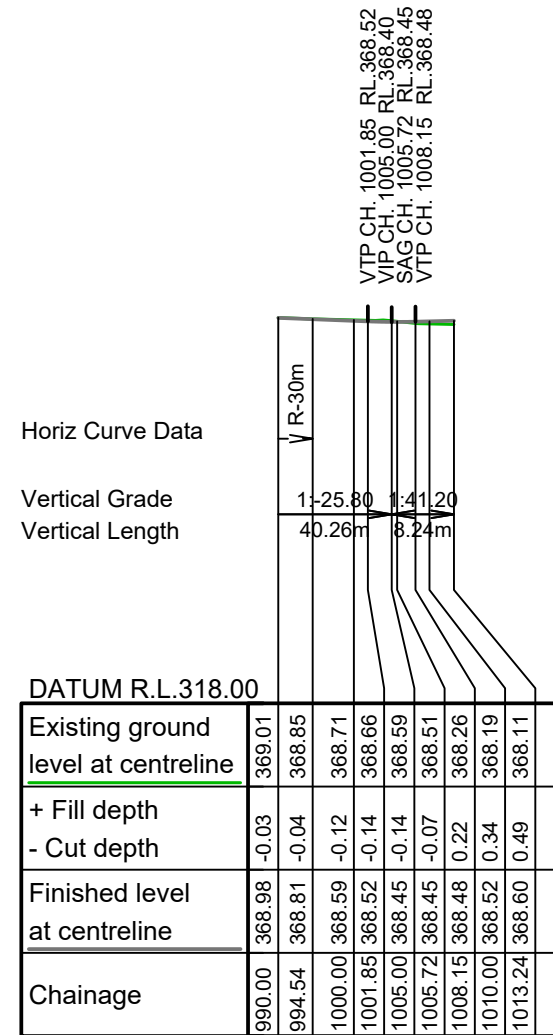
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Approved by:		<b>DO NOT SCALE</b>	
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Q6388 - 22	11	C	29/05/2018



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**APPROVED PLAN:  
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**Wednesday, 13 March 2019**



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 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Road 02 Longsection**  
**CH990m - CH1013m**

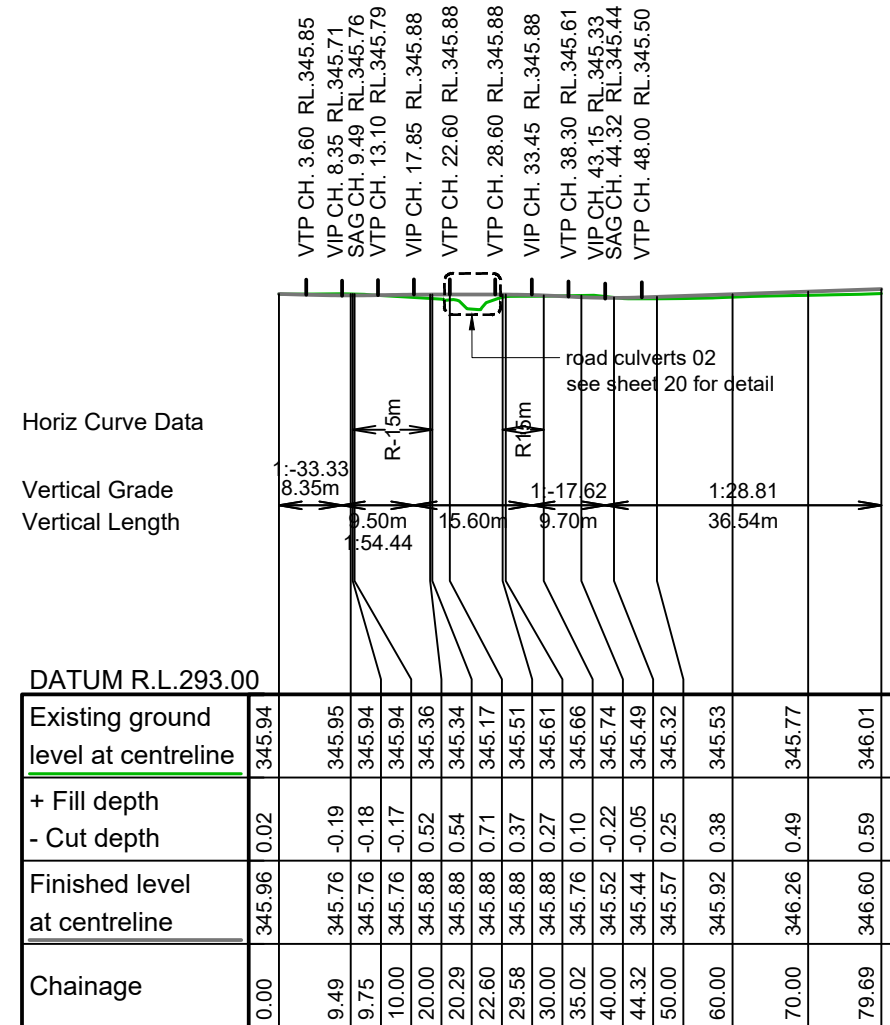
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Checked by:	SJW		<b>DO NOT SCALE</b>
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**Wednesday, 13 March 2019**



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 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel  
 Roding and Carpark Design  
 Ayrburn Access Longsection**

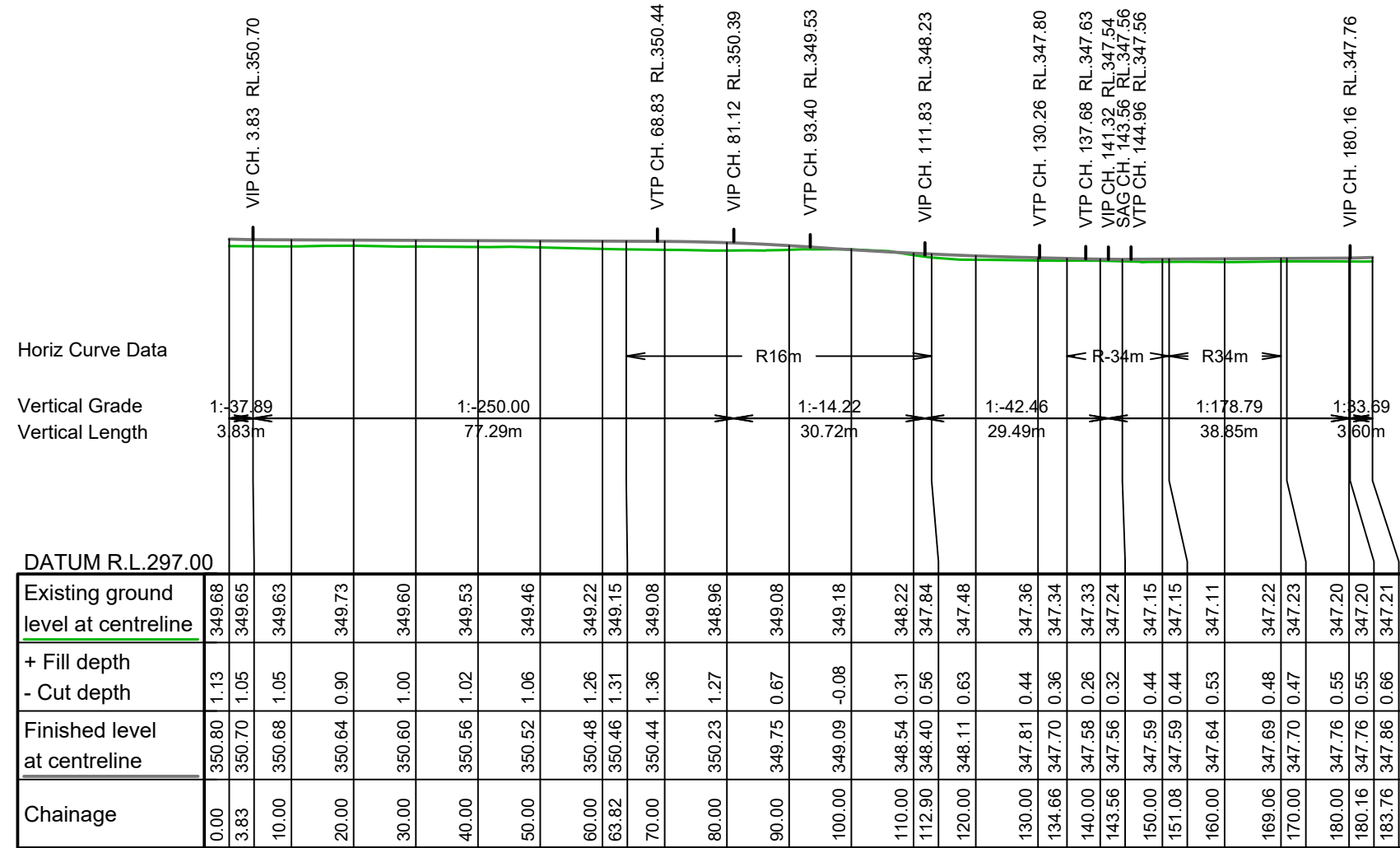
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Approved by:		Job Ref:	Revision No:
		Q6388 - 22	C
		Sheet No:	Date Created:
		13	29/05/2018



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**APPROVED PLAN:  
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**Wednesday, 13 March 2019**



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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Reception Loop Longsection**

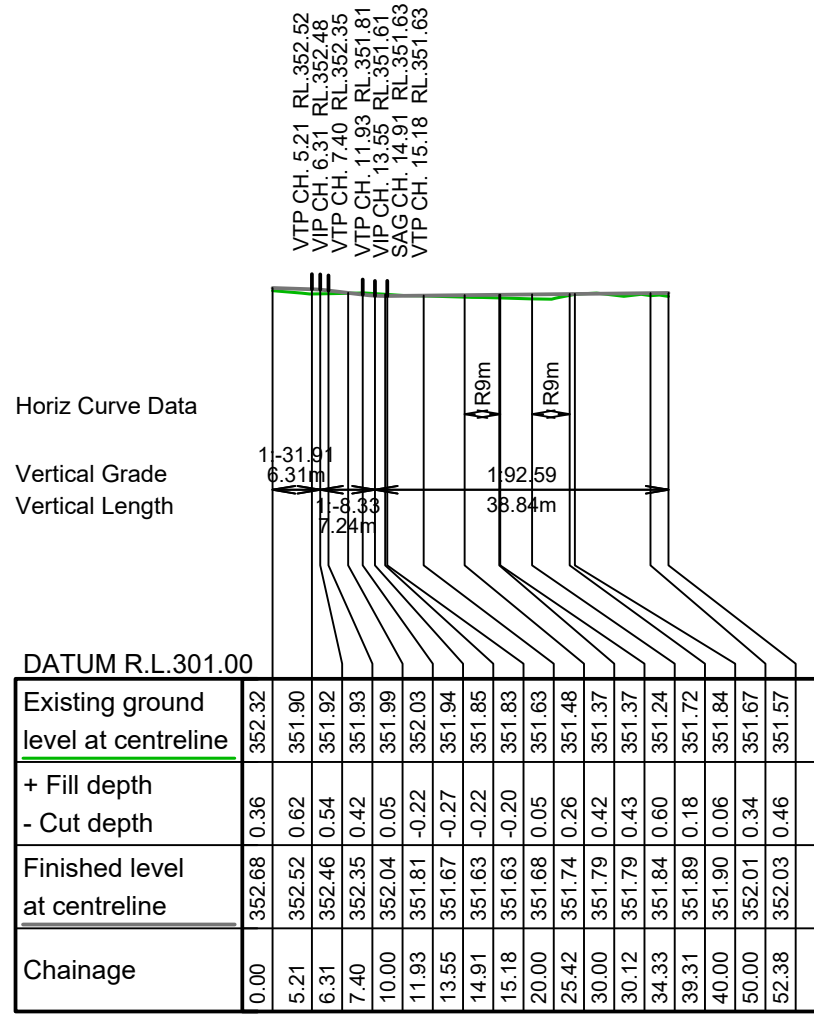
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Approved by:		<b>DO NOT SCALE</b>	
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		Revision No:	C
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**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



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1:1000 vertical

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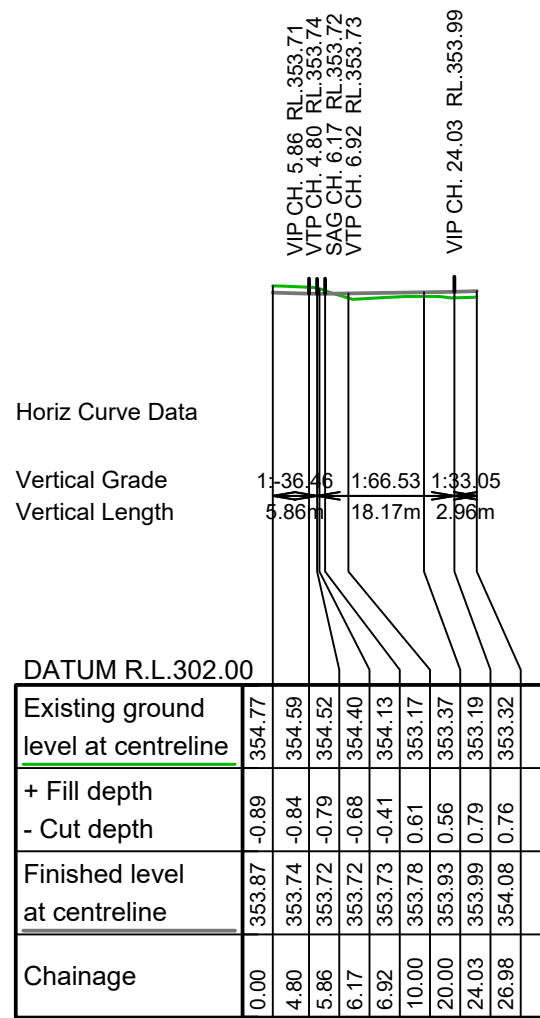
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 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

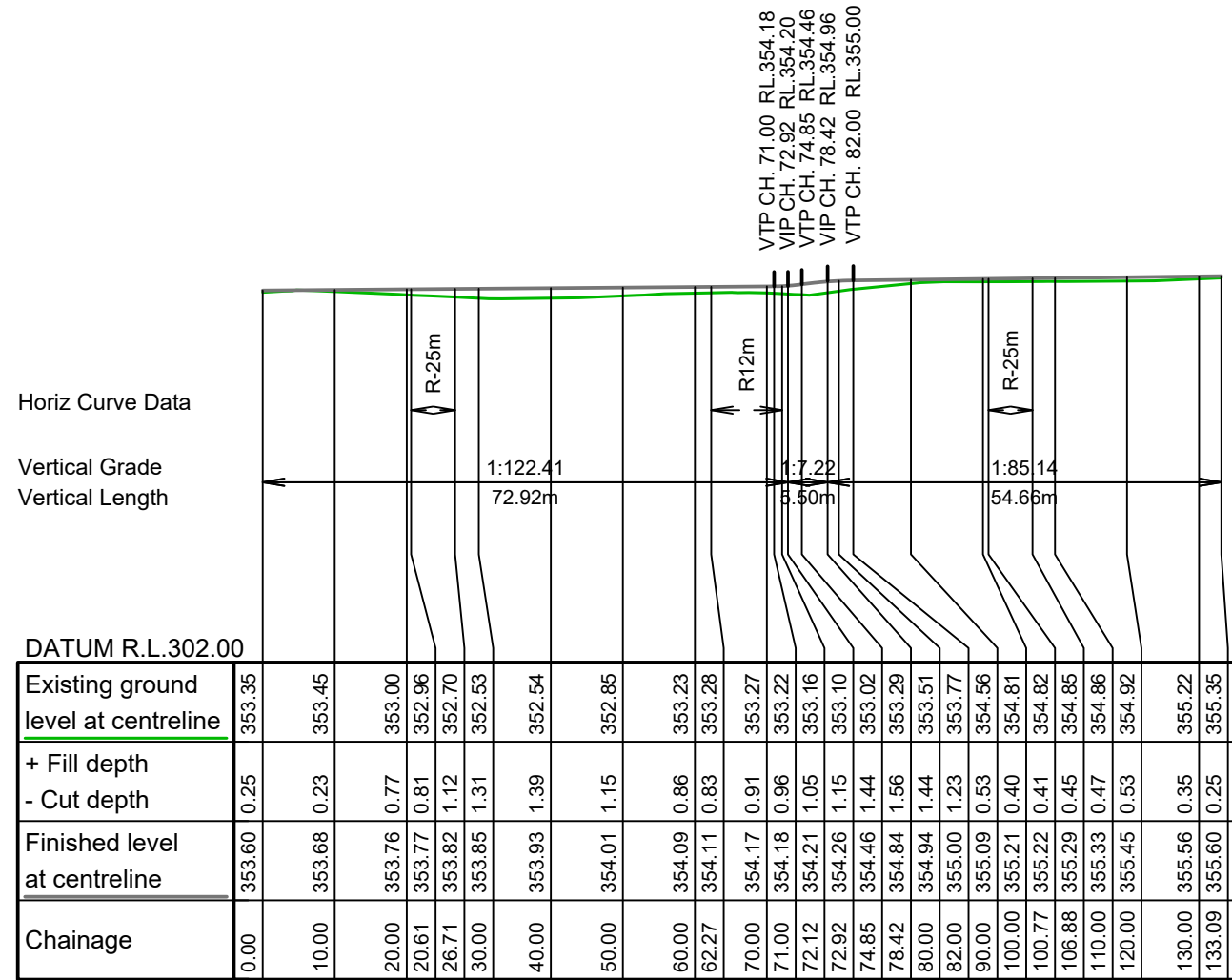
Purpose/Drawing Title:  
**Waterfall Park Hotel**  
**Roading and Carpark Design**  
**Guest Parking 04 Access**  
**Longsection**

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Drawn by:	SJP		1:1000 vt
Checked by:	SJW		
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	15
		Revision No:	C
		Date Created:	29/05/2018





SCALE 1:1000 horizontal  
1:1000 vertical



SCALE 1:1000 horizontal  
1:1000 vertical

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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
Roding and Carpark Design  
Guest Parking 05 / 06 Access  
Longsection

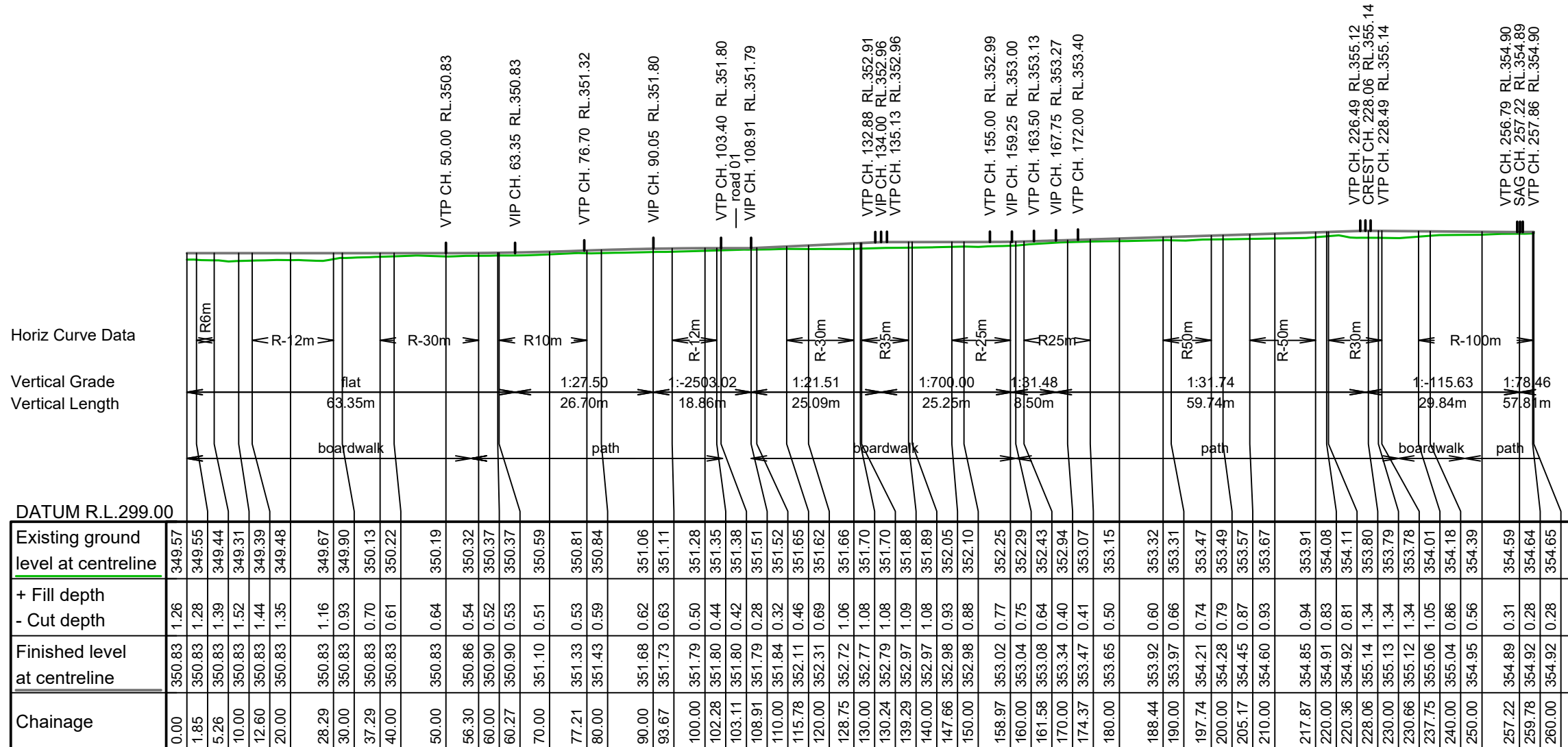
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		Revision No:	C
		Date Created:	29/05/2018



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**APPROVED PLAN:  
RM180584**

**Wednesday, 13 March 2019**



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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
 Roding and Carpark Design  
 Pedestrian and Buggy Path  
 Longsection

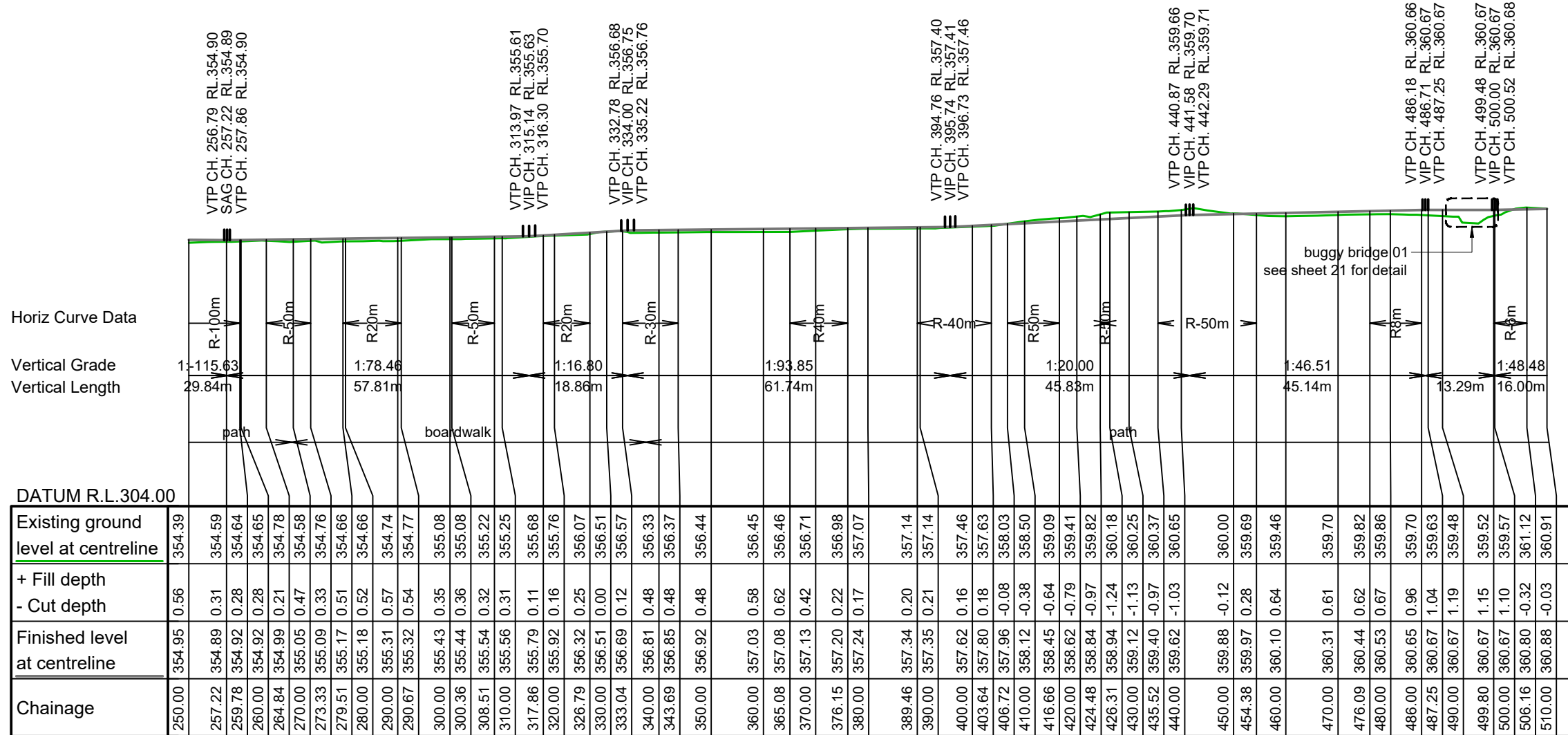
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Approved by:		<b>DO NOT SCALE</b>	
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		Revision No:	C
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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
 Roding and Carpark Design  
 Pedestrian and Buggy Path  
 Longsection

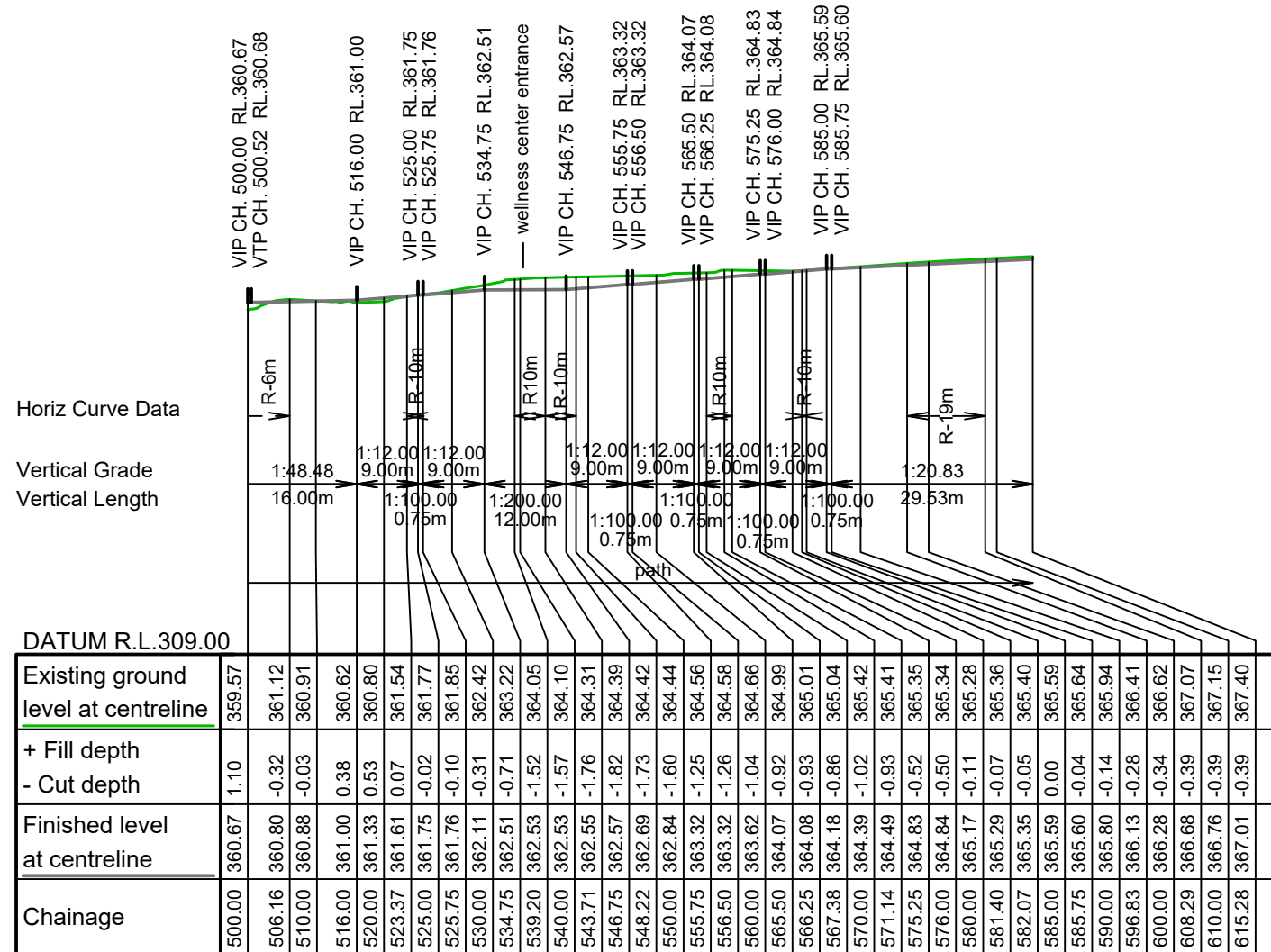
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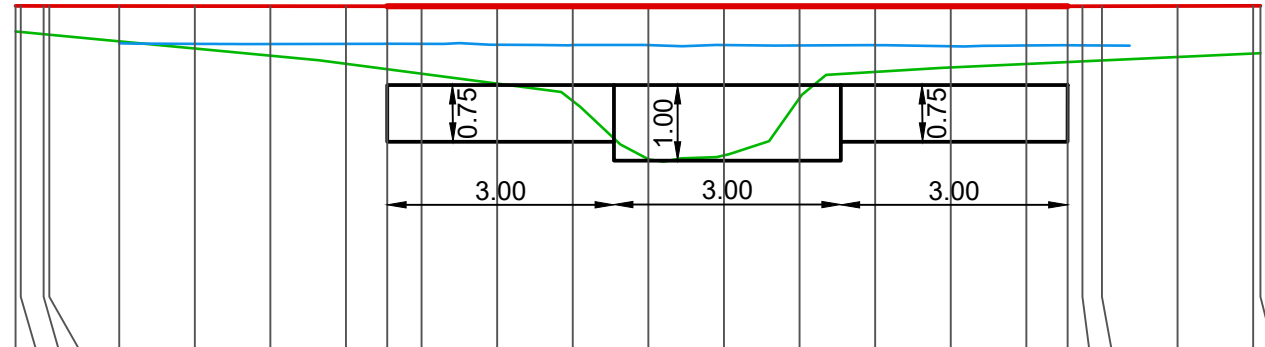
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Purpose/Drawing Title:  
**Waterfall Park Hotel**  
 Roding and Carpark Design  
 Pedestrian and Buggy Path  
 Longsection

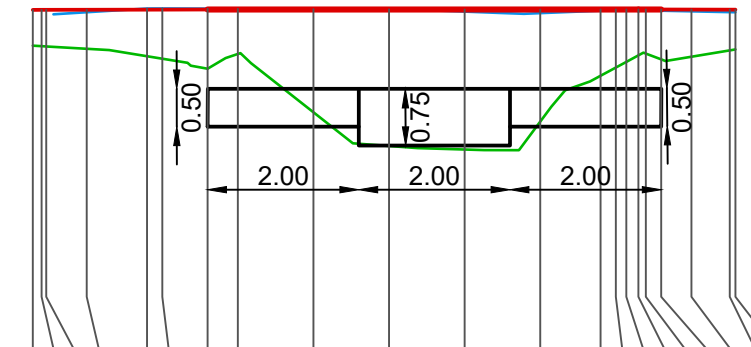
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Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	19
		Revision No:	C
		Date Created:	29/05/2018





Datum RL347.00	
Finished level at CL/back of kerb	351.85
50yr ARI level	351.85
Upstream culvert invert level	351.85
Existing ground level at back of kerb	351.51
+ Fill depth	0.34
- Cut depth	0.35
Chainage	989.629
	989.698
	990.000
	990.076
	991.000
	992.000
	993.000
	994.000
	994.545
	995.000
	996.000
	997.000
	998.000
	999.000
	1000.000
	1001.000
	1002.000
	1003.000
	1003.546
	1003.742
	1004.000
	1005.000
	1006.000
	1006.097

Road Culverts 01



Datum RL341.00	
Finished level at nib kerb	345.79
20yr ARI level	345.79
Upstream culvert invert level	345.79
Existing ground level at nib kerb	345.32
+ Fill depth	0.47
- Cut depth	0.48
Chainage	20.287
	20.403
	20.465
	21.000
	21.798
	22.000
	22.600
	23.000
	24.000
	25.000
	26.000
	27.000
	27.798
	28.000
	28.138
	28.298
	28.397
	28.600
	29.000
	29.506
	29.582

Road Culverts 02

NOTES:

1. Culvert measurements relate to inside diameter
2. 50yr ARI and 20yr ARI events shown for Road Culverts 01 and Road Culverts 02 respectively
3. Flood levels provided by Fluent Solutions



join into path up towards Wellness Center  
 join into path outside Chapel

**QUEENSTOWN LAKES DISTRICT COUNCIL**

**APPROVED PLAN:**  
 abutment RM180584

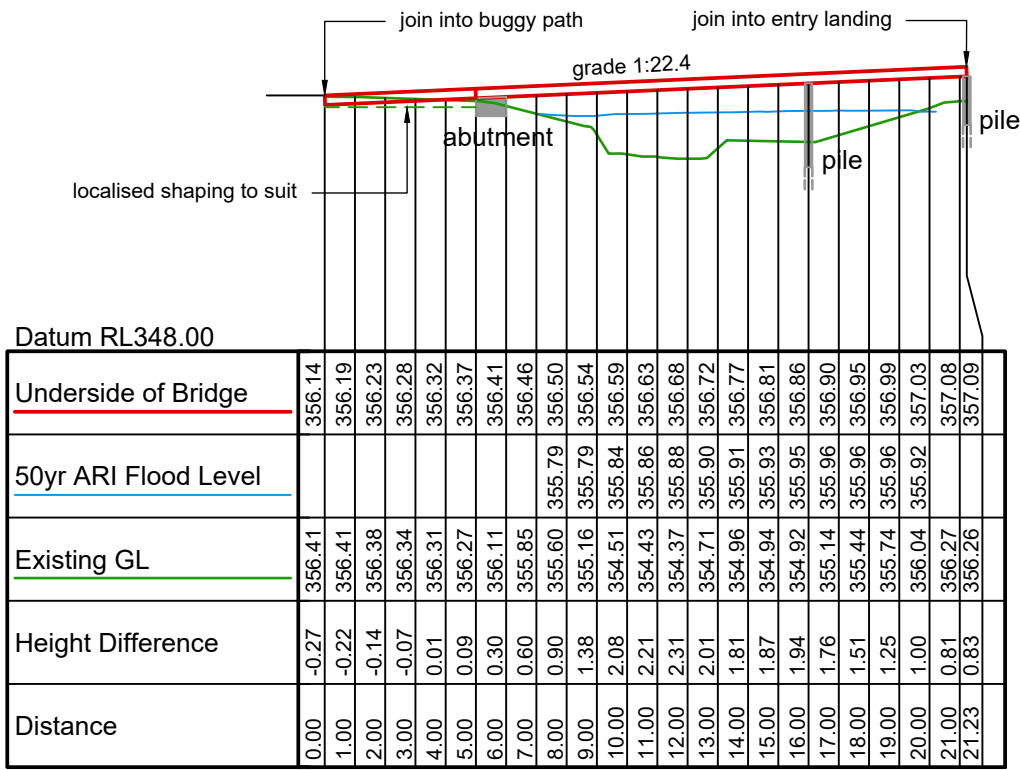
**Wednesday, 13 March 2019**

pile

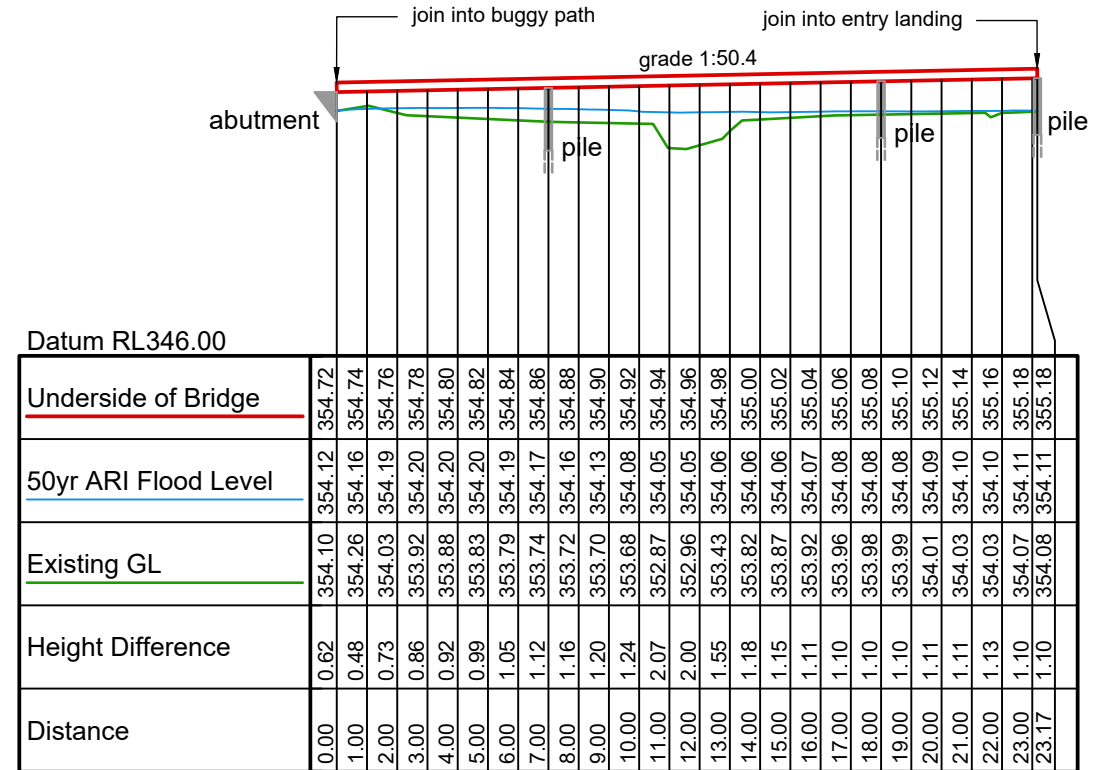
Datum RL351.00

Underside of Bridge	360.37
Existing GL	359.39
Height Difference	0.98
Distance	0.00
	1.00
	2.00
	3.00
	4.00
	5.00
	6.00
	7.00
	8.00

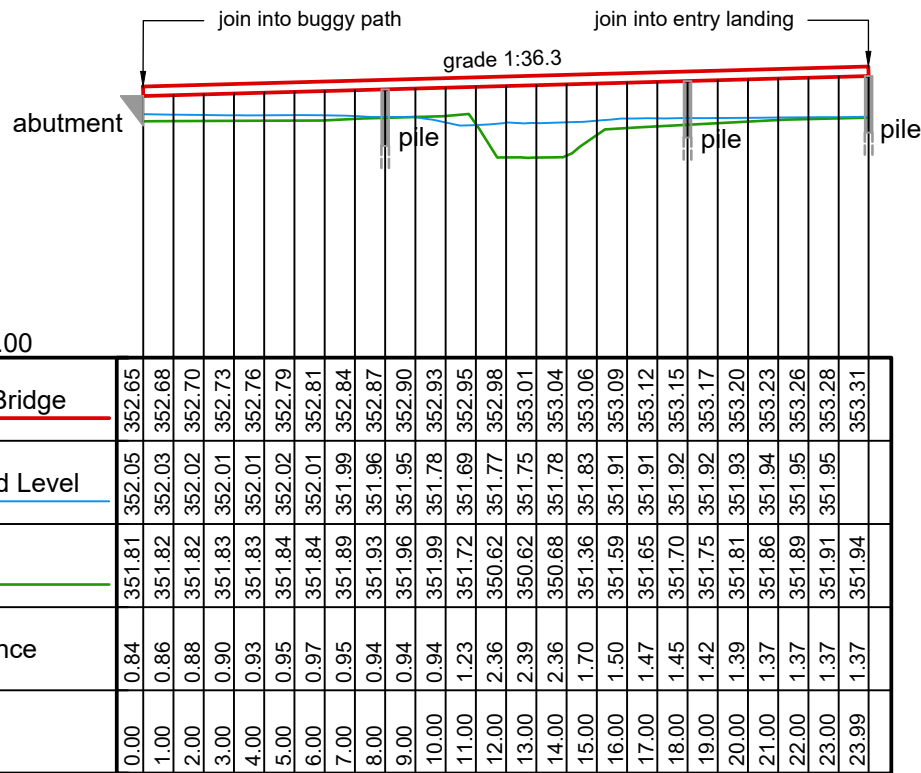
buggy bridge 01



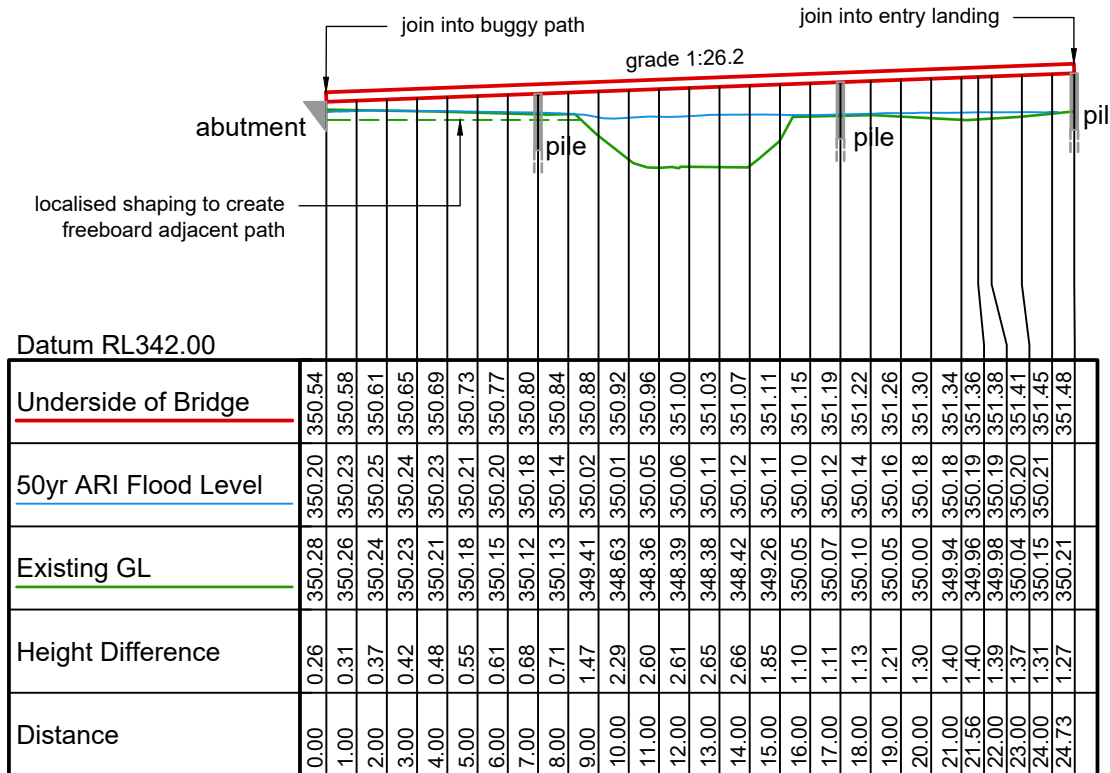
buggy bridge 02



buggy bridge 03



buggy bridge 04



buggy bridge 05

NOTES:

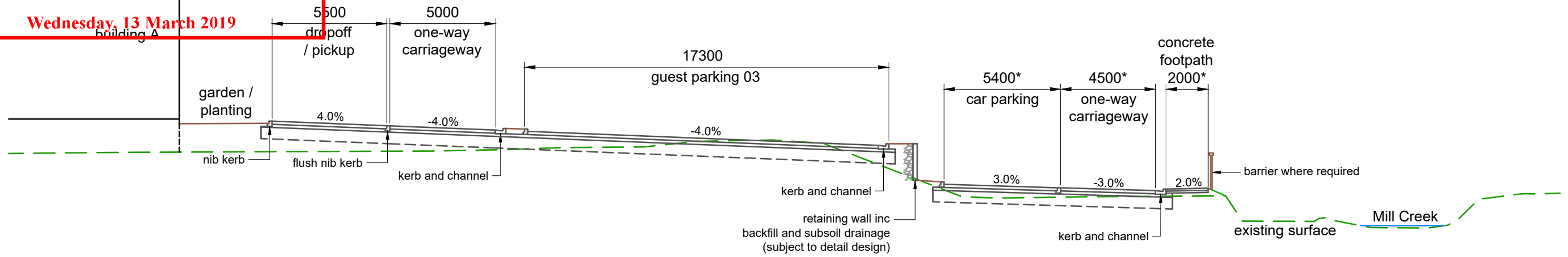
1. Height difference is 'Underside of Bridge' minus 'Existing GL'
2. Flood levels provided by Fluent Solutions
3. Abutment and pile locations provided by Engco







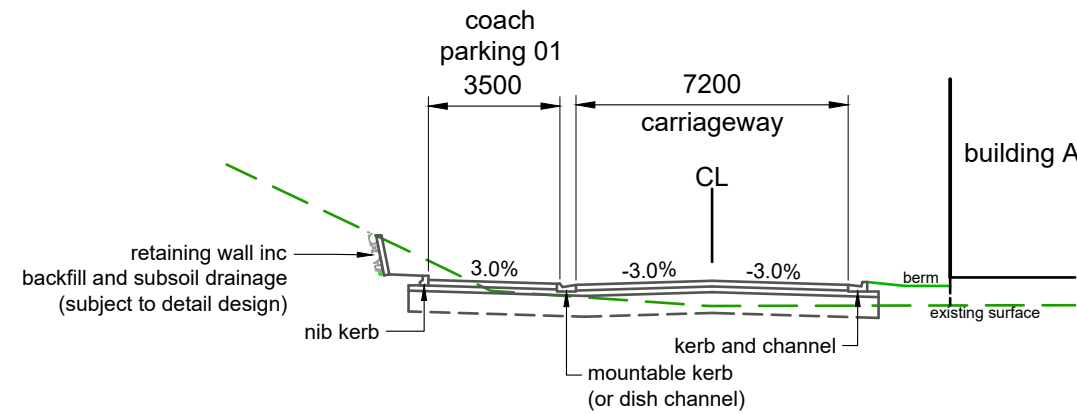
# HOTEL LOOP CH 40.0



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

# ROAD 01 CH 870.0



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

**NOTES:**

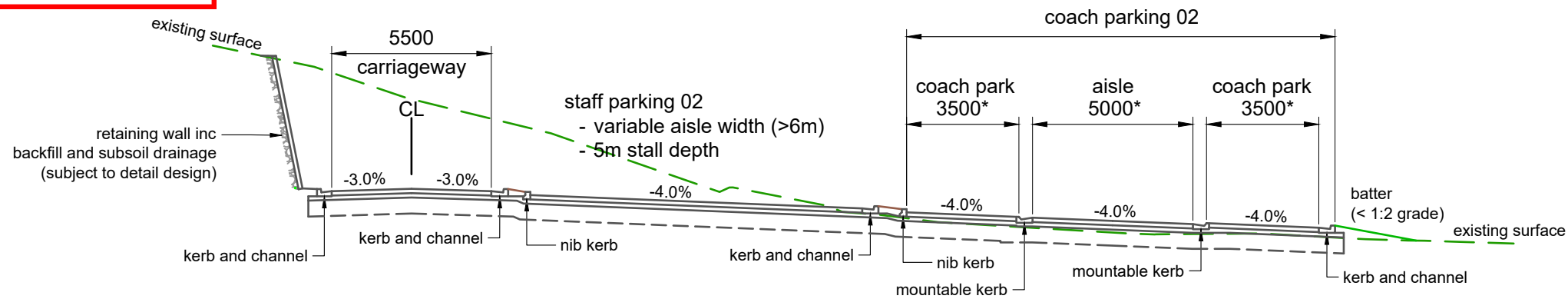
- \* denotes nominal distance - cross section not perpendicular



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Drawn by:	SJP		
Checked by:			
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	Revision No:
		23	C
		Date Created:	
		29/05/2018	



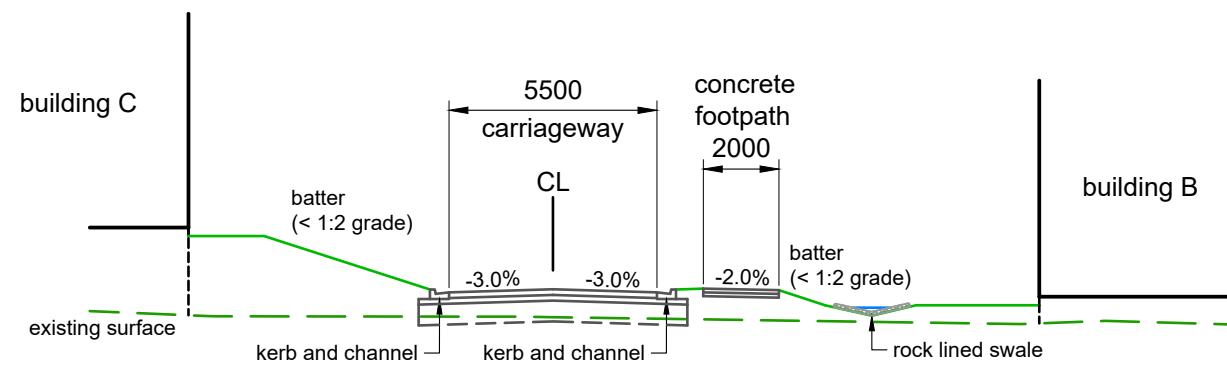
### Road 01 CH 920



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

### ROAD 01 CH 1015.764



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

**NOTES:**

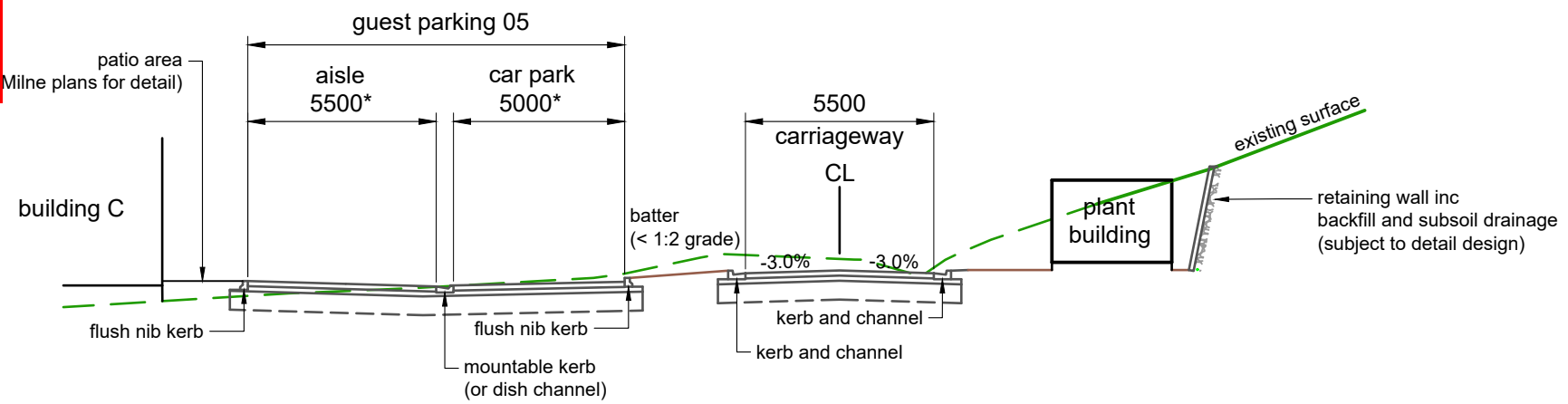
- \* denotes nominal distance - cross section not perpendicular



Surveyed by:	PPG	Original Size:	Scale:
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Drawn by:	SJP		
Checked by:			
Approved by:		<b>DO NOT SCALE</b>	
Job Ref:	Q6388 - 22	Sheet No:	24
		Revision No:	C
		Date Created:	29/05/2018



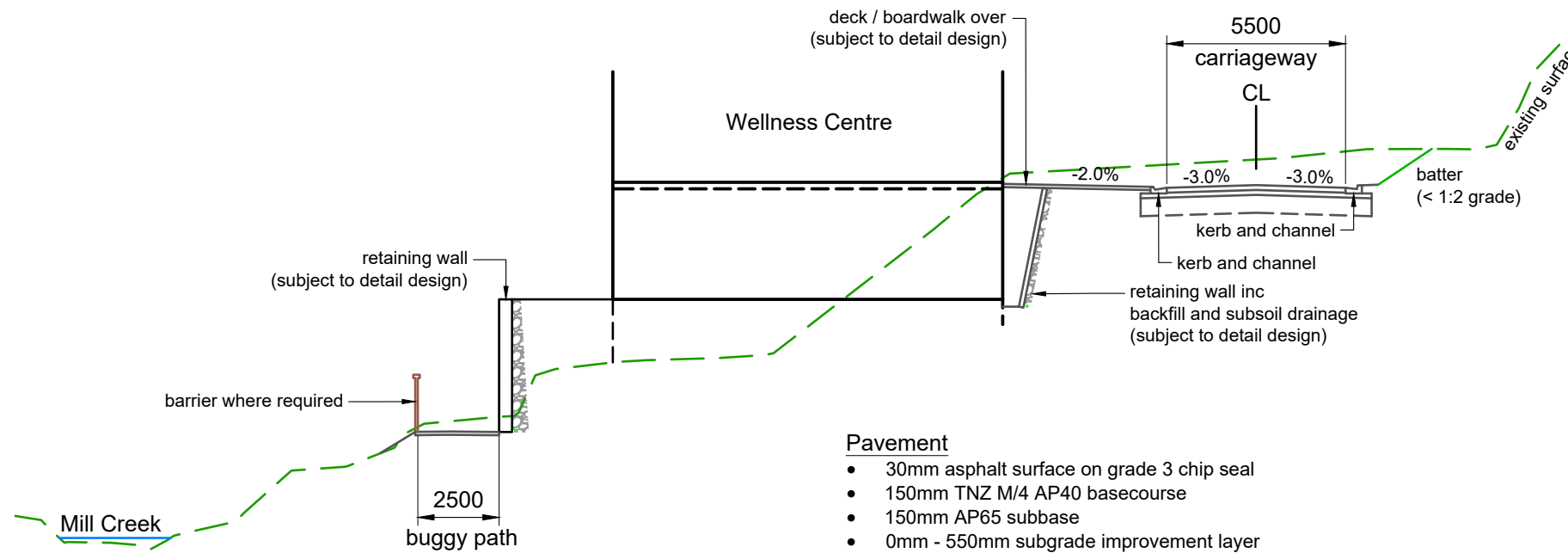
### ROAD 02 CH 535.0



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

### ROAD 02 CH 910.0



**Pavement**

- 30mm asphalt surface on grade 3 chip seal
- 150mm TNZ M/4 AP40 basecourse
- 150mm AP65 subbase
- 0mm - 550mm subgrade improvement layer

**NOTES:**

- \* denotes nominal distance - cross section not perpendicular

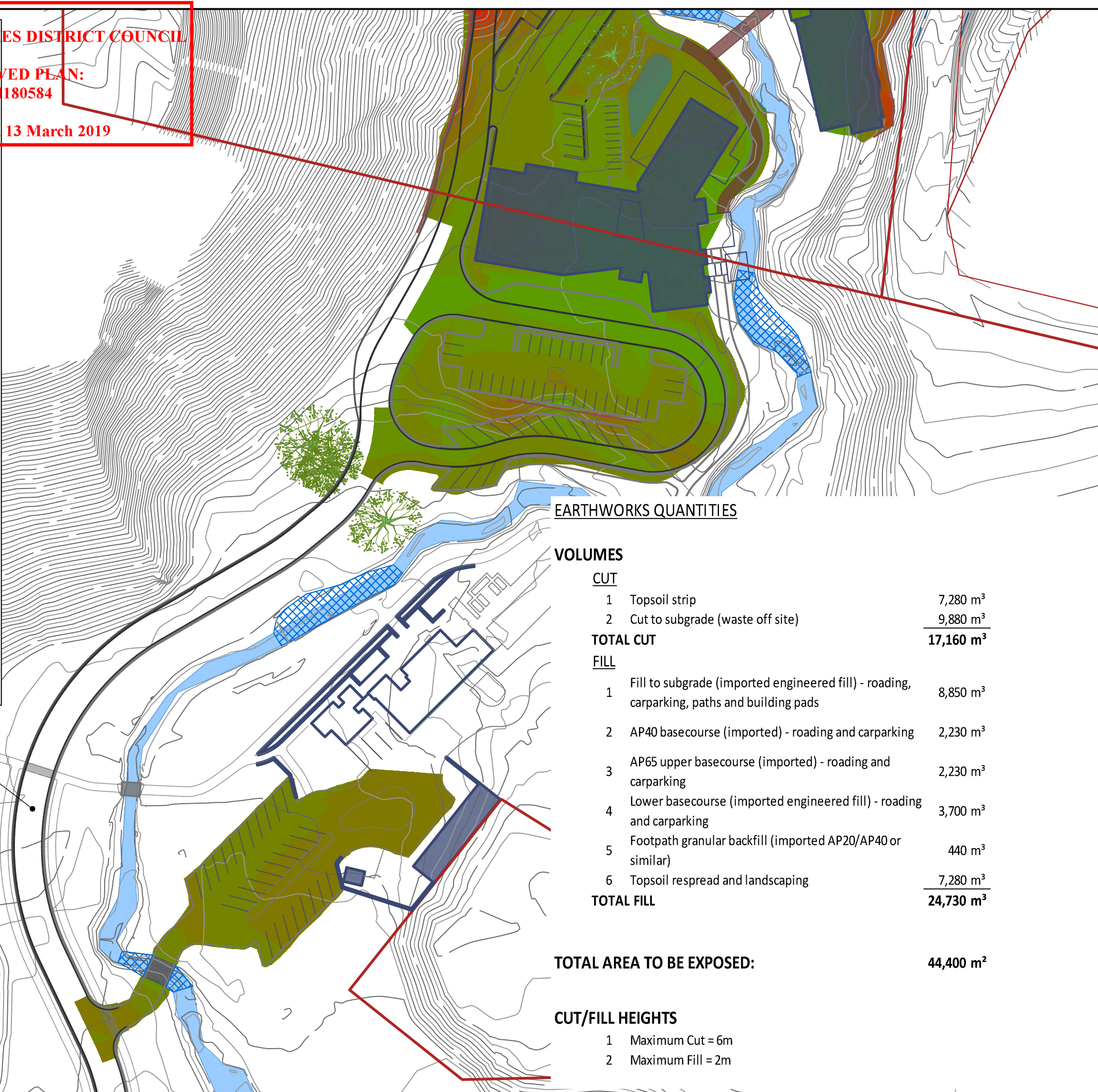


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Job Ref:	Q6388 - 22	Sheet No:	Revision No:
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			Date Created:
			29/05/2018



**QUEENSTOWN LAKES DISTRICT COUNCIL**  
**APPROVED PLAN:**  
**RM180584**  
**Wednesday, 13 March 2019**

Lower Value	Upper Value	Colour
-5.00	-4.50	Dark Red
-4.50	-4.00	Red
-4.00	-3.50	Dark Orange
-3.50	-3.00	Orange
-3.00	-2.50	Light Orange
-2.50	-2.00	Yellow-Orange
-2.00	-1.50	Yellow
-1.50	-1.00	Light Green
-1.00	-0.50	Green
-0.50	0.00	Light Green
0.00	0.50	Green
0.50	1.00	Light Green
1.00	1.50	Green
1.50	2.00	Light Green
2.00	2.50	Green
2.50	3.00	Light Green
3.00	3.50	Green
3.50	4.00	Light Green
4.00	4.50	Green
4.50	5.00	Light Green



**EARTHWORKS QUANTITIES**

**VOLUMES**

<u>CUT</u>		
1	Topsoil strip	7,280 m <sup>3</sup>
2	Cut to subgrade (waste off site)	9,880 m <sup>3</sup>
<b>TOTAL CUT</b>		<b>17,160 m<sup>3</sup></b>
<u>FILL</u>		
1	Fill to subgrade (imported engineered fill) - roading, carparking, paths and building pads	8,850 m <sup>3</sup>
2	AP40 basecourse (imported) - roading and carparking	2,230 m <sup>3</sup>
3	AP65 upper basecourse (imported) - roading and carparking	2,230 m <sup>3</sup>
4	Lower basecourse (imported engineered fill) - roading and carparking	3,700 m <sup>3</sup>
5	Footpath granular backfill (imported AP20/AP40 or similar)	440 m <sup>3</sup>
6	Topsoil respread and landscaping	7,280 m <sup>3</sup>
<b>TOTAL FILL</b>		<b>24,730 m<sup>3</sup></b>

**TOTAL AREA TO BE EXPOSED: 44,400 m<sup>2</sup>**

**CUT/FILL HEIGHTS**

- 1 Maximum Cut = 6m
- 2 Maximum Fill = 2m

**KEY:**

- legal boundary
- proposed Waterfall Park Road boundary
- retaining wall
- building

**NOTES:**

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  - Service connections to utility services
2. This plan includes information from site surveys undertaken by Paterson Pitts Group (Sep 2017) and CFM (2016/2017)
3. Coordinates and bearings are in terms of Geodetic Datum 2000, Mount Nicholas Circuit grid projection
4. Levels are in terms of MSL (Dunedin Vertical Datum 1958)
5. The origin of levels is C1PV (IT IX DP 12678) RL: 348.66m
6. Existing contours shown - 0.5m contour interval
7. Design depths are shown as indicative only - final design depths subject to detail design
8. Design depths relate to finish level in roading, carparking and path areas
9. Design depths relate to 0.6m below F.F.L within building footprint. Depths between Mill Creek and Buildings B - E to be determined at detail design
10. Design depths in Ayrburn area T.B.C
11. Refer to the relevant CFRs and title plans for registered easements, covenants and interests

0m 10m 20m 30m  
**SCALE BAR**

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Client/Location:  
**Waterfall Park Developments Ltd**  
 Sec 69 Blk VII Shotover SD, Lots 1 & 2  
 DP 23038, Lot 1 DP 27503, Lots 1 & 2  
 DP 507367, Pt Lot 3 DP 5737 and Lot 1 DP 18109

Purpose/Drawing Title:  
**Waterfall Park Hotel  
 Rosing and Carpark Design  
 Earthworks**

Surveyed by: PPG	Original Size: A3	Scale: 1:1000
Designed by: SJP	A3	DO NOT SCALE
Drawn by: SJP		
Checked by: SJW	Approved by:	Job Ref: Q6388 - 22
Sheet No: 26	Revision No: A	Date Created: 02/07/2018

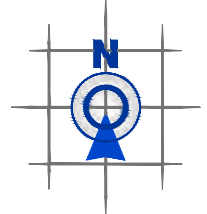


QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:  
RM180584

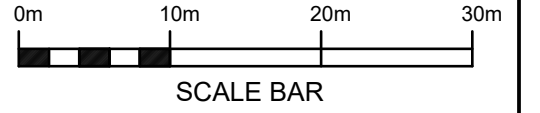
Wednesday, 13 March 2019

DEPTHS		
Lower Value	Upper Value	Colour
-5.00	to -4.50 m	[Red]
-4.50	to -4.00 m	[Red]
-4.00	to -3.50 m	[Red]
-3.50	to -3.00 m	[Red]
-3.00	to -2.50 m	[Red]
-2.50	to -2.00 m	[Red]
-2.00	to -1.50 m	[Red]
-1.50	to -1.00 m	[Red]
-1.00	to -0.50 m	[Red]
-0.50	to 0.00 m	[Red]
0.00	to 0.50 m	[Red]
0.50	to 1.00 m	[Red]
1.00	to 1.50 m	[Red]
1.50	to 2.00 m	[Red]
2.00	to 2.50 m	[Red]
2.50	to 3.00 m	[Red]
3.00	to 3.50 m	[Red]
3.50	to 4.00 m	[Red]
4.00	to 4.50 m	[Red]
4.50	to 5.00 m	[Red]



- KEY:
- legal boundary
  - proposed Waterfall Park Road boundary
  - retaining wall
  - building

- NOTES:
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  10. Refer to the relevant CFRs and title plans for registered easements, covenants and interests



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Purpose/Drawing Title:  
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 Earthworks**

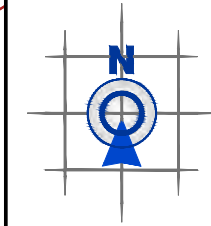
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Drawn by: SJP		
Checked by: SJW	Job Ref: Q6388 - 22	Revision No: A
Approved by:	Sheet No: 27	Date Created: 02/07/2018



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**Wednesday, 13 March 2019**

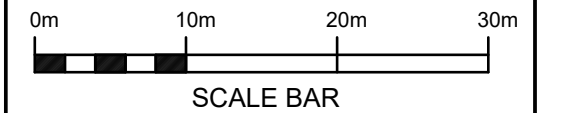


**KEY:**

- legal boundary
- proposed Waterfall Park Road boundary
- retaining wall
- building

**NOTES:**

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4. Levels are in terms of MSL (Dunedin Vertical Datum 1958)
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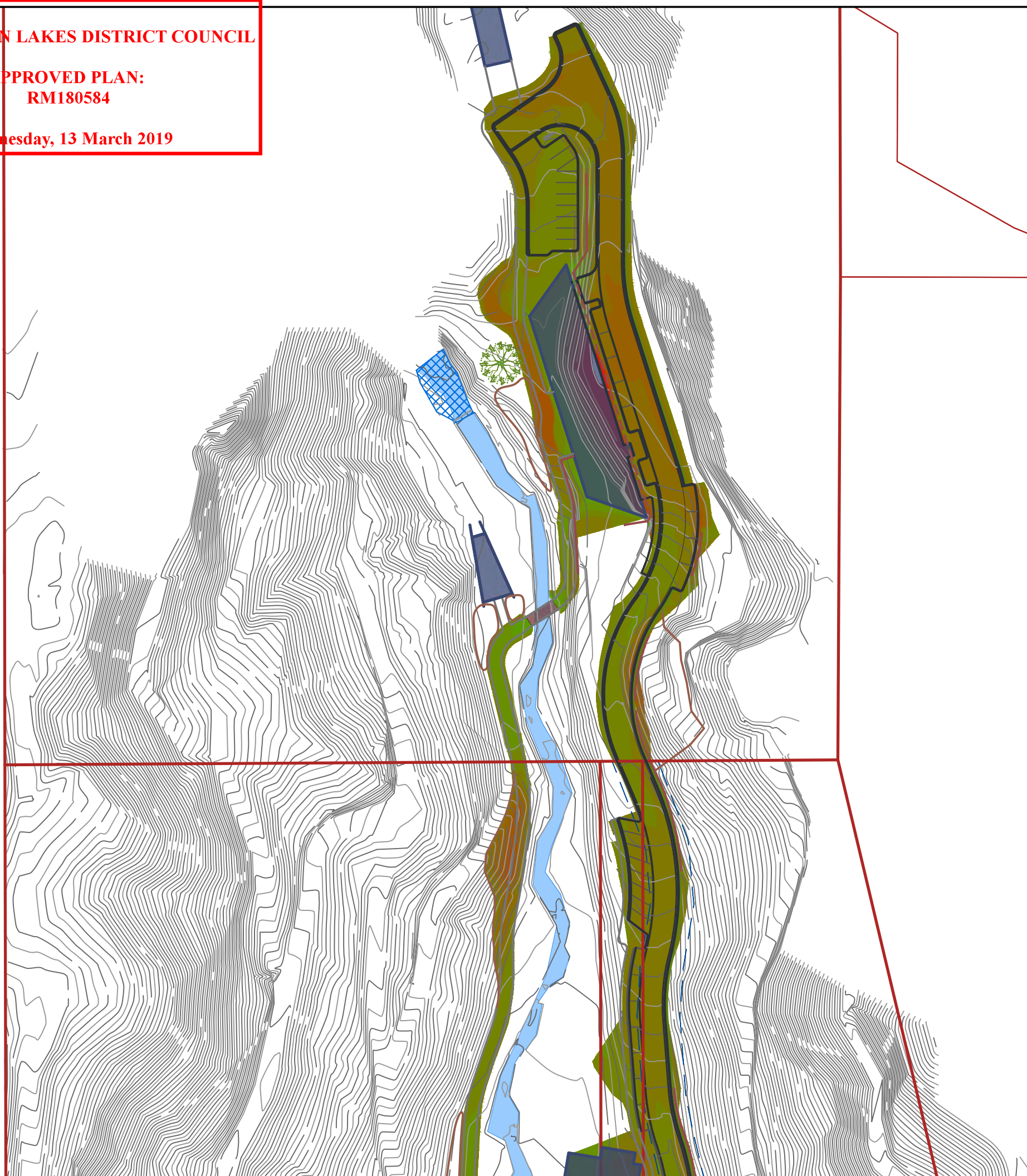
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Purpose/Drawing Title:  
**Waterfall Park Hotel  
 Roding and Carpark Design  
 Earthworks**

Surveyed by: PPG	Original Size: A3	Scale: 1:1000	
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Drawn by: SJP			
Checked by: SJW			
Approved by:			
Job Ref: Q6388 - 22	Sheet No: 28	Revision No: A	Date Created: 02/07/2018

DEPTHS		
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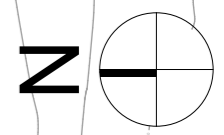
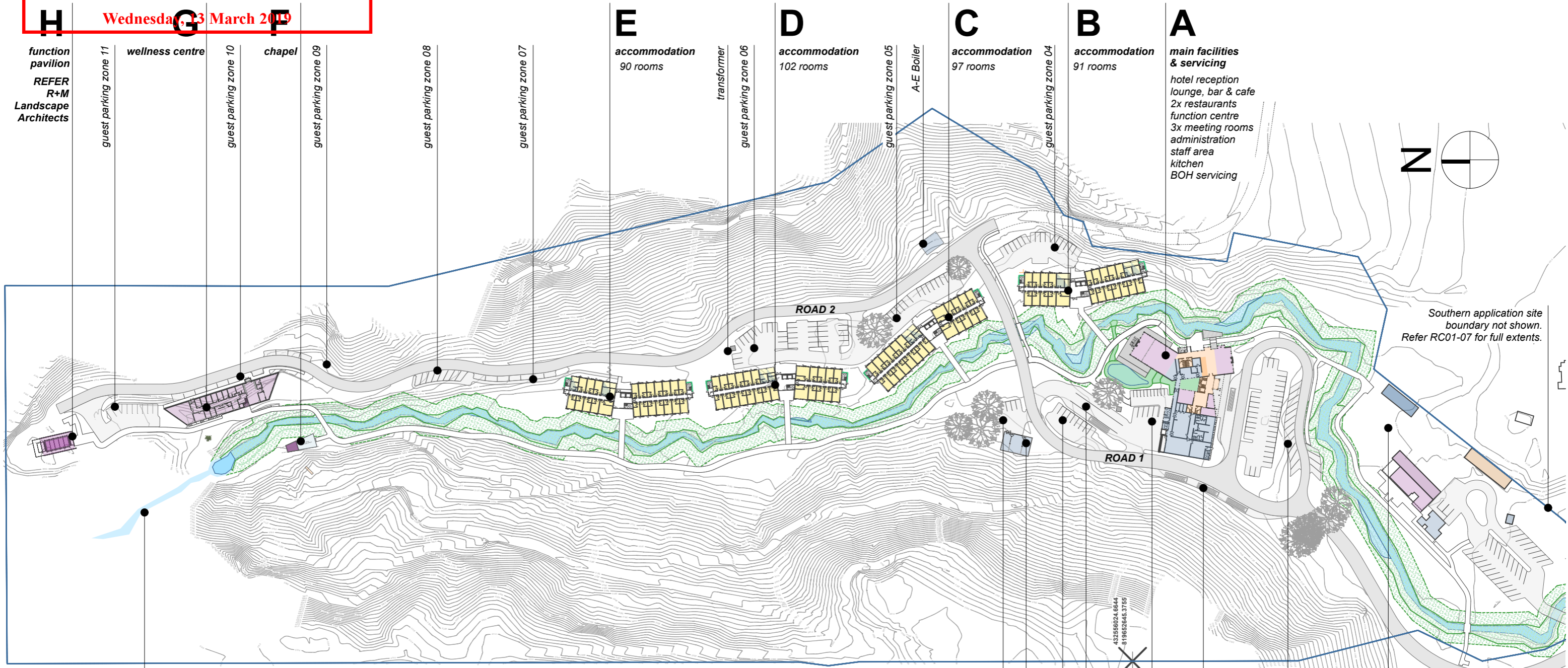




**QUEENSTOWN LAKES DISTRICT COUNCIL**  
**2.5 Masterplan**  
**APPROVED PLAN:**  
**RM180584**

Wednesday, 13 March 2019

**H** function pavilion  
**REFER R+M Landscape Architects**  
**G** wellness centre  
**F** chapel  
**09** guest parking zone 09  
**08** guest parking zone 08  
**07** guest parking zone 07  
**E** accommodation 90 rooms  
**transformer**  
**06** guest parking zone 06  
**D** accommodation 102 rooms  
**05** guest parking zone 05  
**A-E Boiler**  
**C** accommodation 97 rooms  
**04** guest parking zone 04  
**B** accommodation 91 rooms  
**A** main facilities & servicing  
 hotel reception lounge, bar & cafe  
 2x restaurants  
 function centre  
 3x meeting rooms  
 administration  
 staff area  
 kitchen  
 BOH servicing

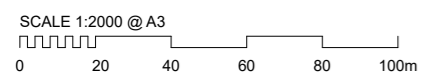


Southern application site boundary not shown. Refer RC01-07 for full extents.

**KEY**

- Mill Creek
- Mill Creek Bank
- Mill Creek 7m Setback
- Facilities
- Accommodation
- BoH/Servicing
- Application Site Boundary

MILL CREEK WATERFALL



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**Revisions:**  
 16.04.2018 A for Resource Consent Application  
 05.07.2018 B for Revised Resource Consent Application Revision B

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**S A STUDIO** rough & mine landscape architects  
**PATERSONPITTS GROUP** Surveying • Planning • Engineering  
**CARRAGEWAY**  
**ENGCO**  
**GEO SOLVE**  
**Origin**  
**Coak Brothers** CONSTRUCTION  
**MARSHALL DAY** Architects  
**CONGRUOUS**  
**Fluent SOLUTIONS**  
**ECOtago**  
**ryder**

**WATERFALL PARK**

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**WATERFALL PARK HOTEL**  
**Waterfall Park Developments Ltd**  
 at Waterfall Park, Arrowtown

**AMENDED APPLICATION 05.07.2018**  
**FOR RESOURCE CONSENT**

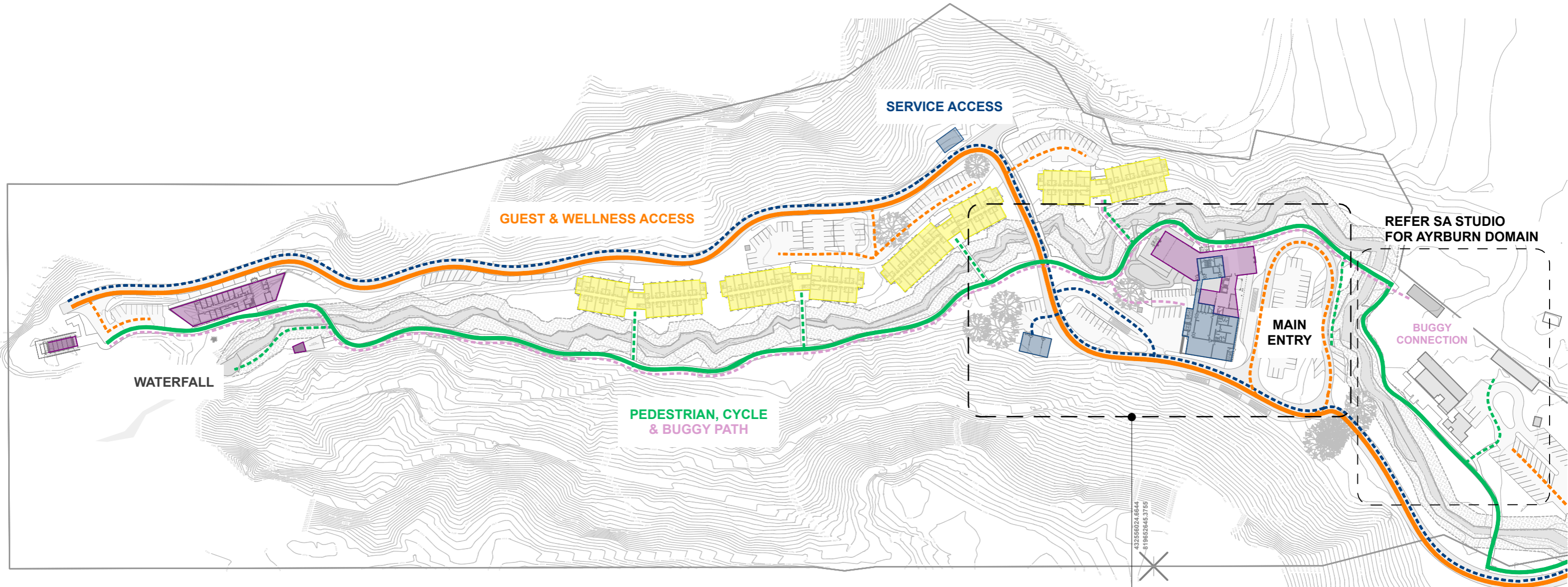
**Masterplan**  
 Scale: 1:2000 Orig. Size: A3  
 Drawing No. Job No.: **2294**  
**RC02-05** Revision: **B**



# 3.1 Functional Diagrams - Site Access & Networks

APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019

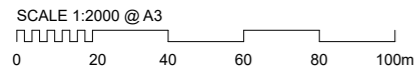


**KEY**

- Guest /Public Vehicle Access
- Guest Rooms
- Hotel Buggy Track
- Hotel Amenity Zone
- Service Vehicle Access
- Service / BoH Zone
- Guest/Public Pedestrian & Cycle Access

ALL IN/OUT

BUILDING A  
SERVICING ZONE  
REFER RC04-02



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05.07.2018 B for Revised Resource Consent Application Revision B

**BROWN & COMPANY** S A STUDIO rough & mine landscape architects

PATERSONPITTS GROUP CARBONWAY ENGCO GEOSOLVE Origin

Cook Brothers MARSHALL DAY CONGIOUS Fluent ECOTAGO ryder

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**WATERFALL PARK HOTEL**  
Waterfall Park Developments Ltd

at Waterfall Park, Arrowtown



AMENDED APPLICATION 05.07.2018  
FOR RESOURCE CONSENT

Site Access & Networks

Scale: 1:2000 Orig. Size: A3  
Drawing No. Job No.: 2294  
**RC03-01** Revision: B

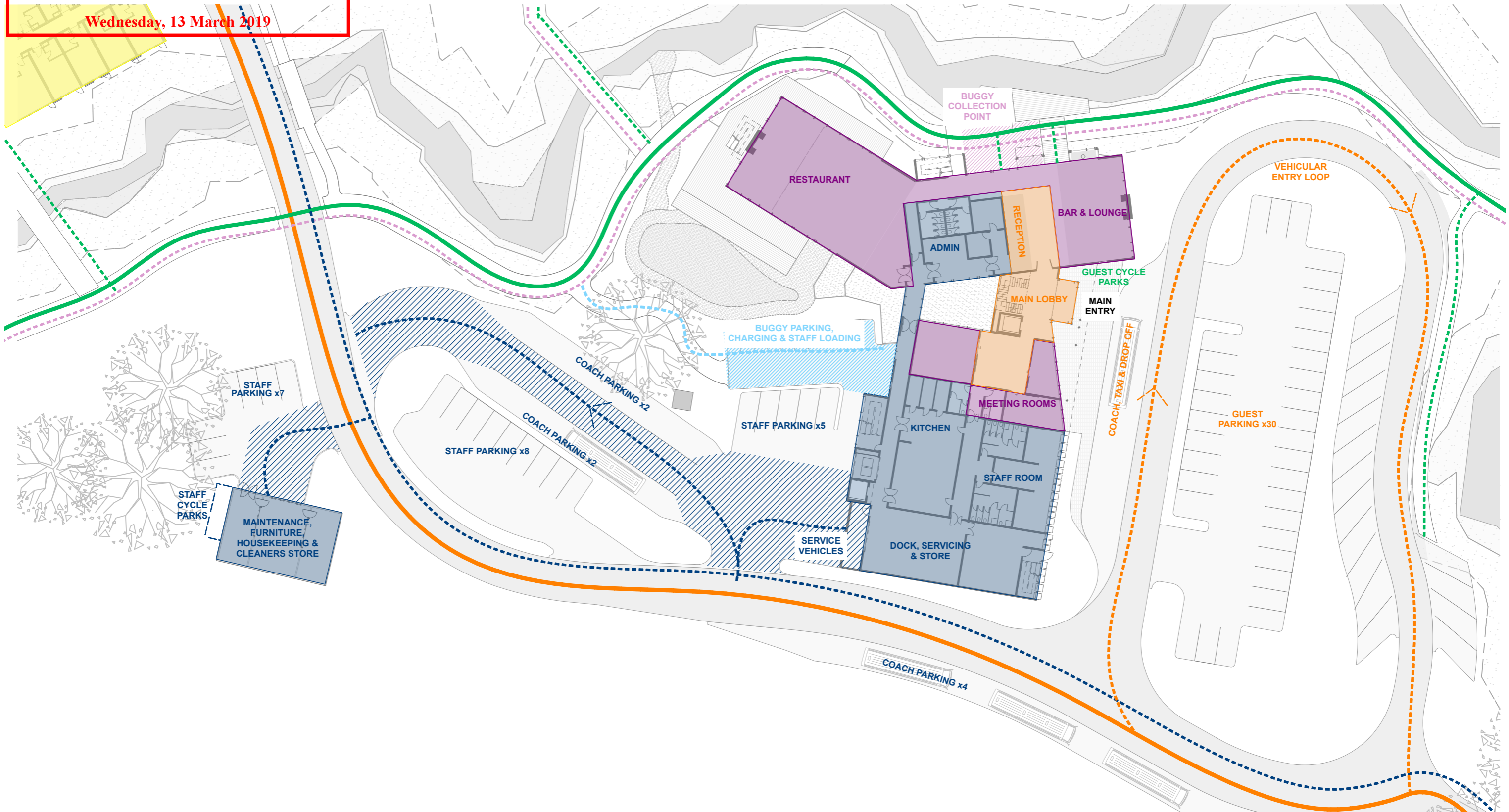


# 3.2 Functional Diagrams - Vehicle & Servicing Diagrams I

APPROVED PLAN:

RM180584

Wednesday, 13 March 2019



AMENDED APPLICATION 05.07.2018  
FOR RESOURCE CONSENT

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**Revisions:**  
16.04.2018 A for Resource Consent Application  
05.07.2018 B for Revised Resource Consent Application Revision B

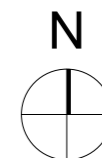
**BROWN COMPANY** S A STUDIO rough & mine landscape architects  
**PATERSONPITTS GROUP** CARTRIDGEWAY ENGCO GEOSOLVE Origin  
 Cook Brothers MARSHALL DAY congruous Fluent ECotago ryder



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 www.studiopacific.co.nz  
 architects@studiopacific.co.nz

**WATERFALL PARK HOTEL**  
 Waterfall Park Developments Ltd

at Waterfall Park, Arrowtown



**Main Facilities Functional Plan Diagram**

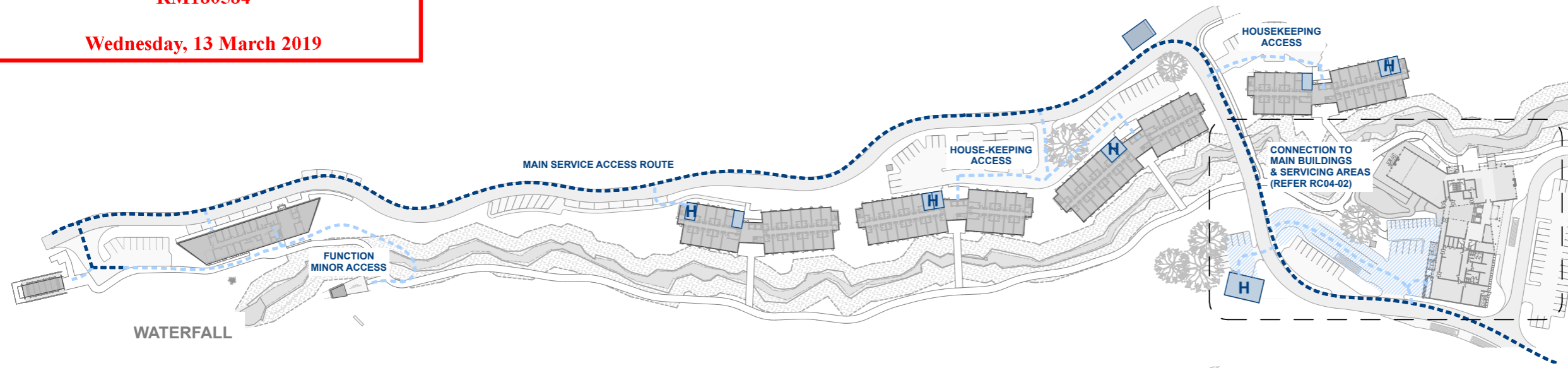
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Drawing No. Job No.: 2294

**RC03-02** Revision: B

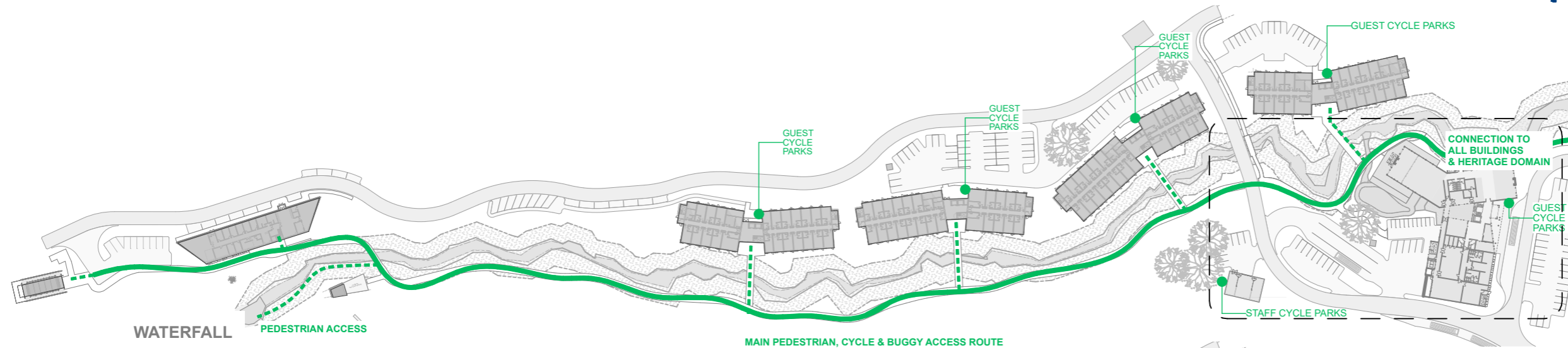


Wednesday, 13 March 2019

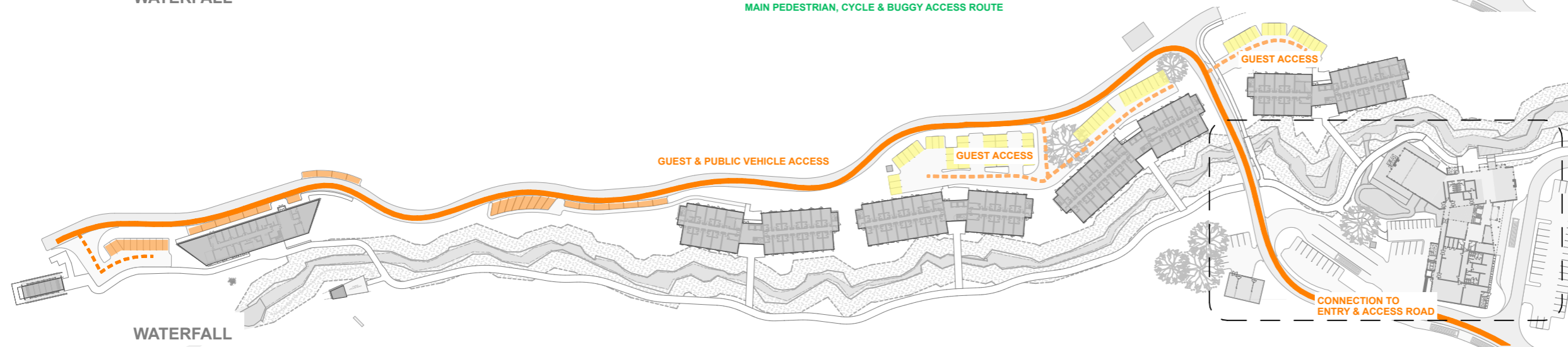


**HOTEL BOH SERVICING**

- BoH Area
- H House-keeping Store



**PEDESTRIAN & CYCLE ROUTES**



**GUEST & PUBLIC VEHICLE ROUTES**

- Guest & Public Parking
- Guest Only Parking

SCALE 1:2000 @ A3  
 0 20 40 60 80 100m

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**Functional Plan Diagrams**

Scale: 1:2000 Orig. Size: A3

Drawing No. Job No.: 2294

**RC03-03** Revision: B



# 3.4 Functional Diagrams - Building Signage Platform Locations

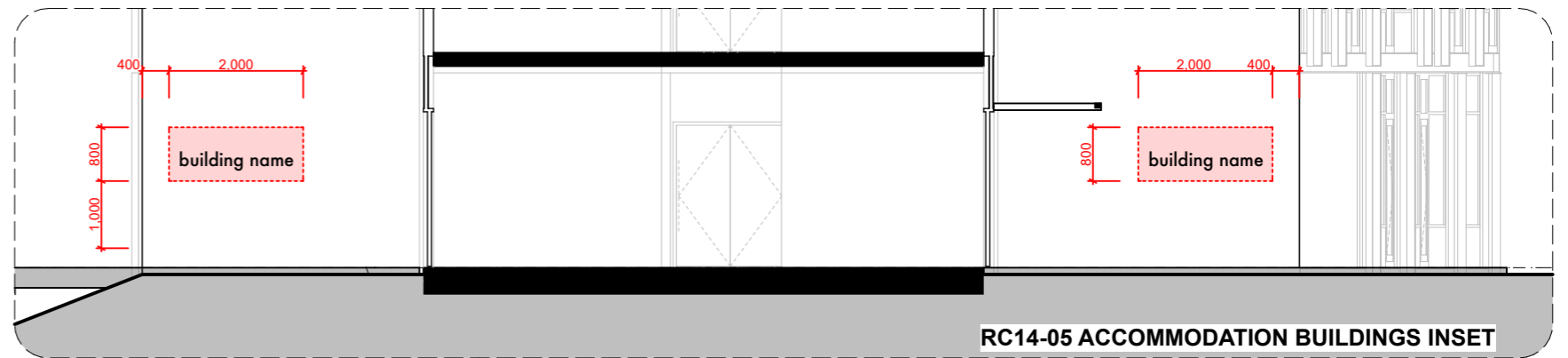
APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019

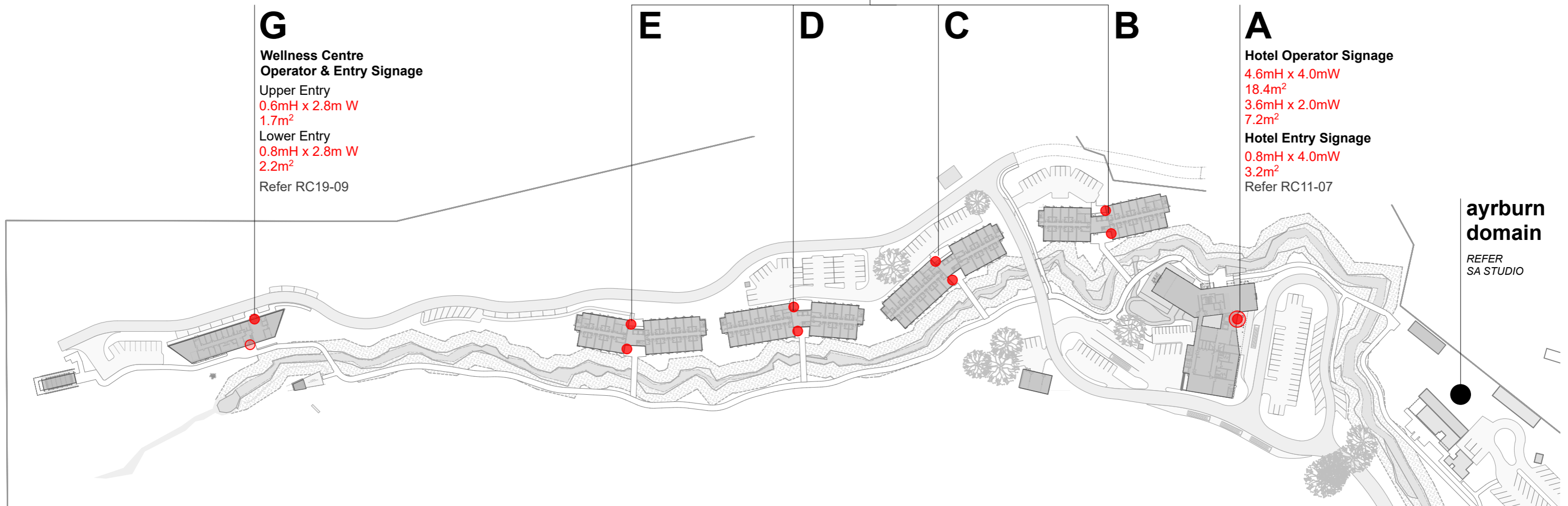
This diagram shows the location, type and dimensions of proposed building signage platforms for the hotel and facilities buildings. Buildings A and G are referenced to the relevant building section or elevation from Part 2 of this application where the signage platform is shown with dimensions. The signage platforms for Buildings B-E are shown in the inset on this page, as taken from RC14-05.

For general wayfinding and indicative signage style refer R+M documentation.

For signage within the heritage domain also refer S A Studio documentation.



**Building Name Signage**  
to East & West entry walls  
Each 0.8mH x 2.0mW  
Each 1.6m<sup>2</sup>



**G**  
**Wellness Centre**  
**Operator & Entry Signage**  
Upper Entry  
0.6mH x 2.8m W  
1.7m<sup>2</sup>  
Lower Entry  
0.8mH x 2.8m W  
2.2m<sup>2</sup>  
Refer RC19-09

**A**  
**Hotel Operator Signage**  
4.6mH x 4.0mW  
18.4m<sup>2</sup>  
3.6mH x 2.0mW  
7.2m<sup>2</sup>  
**Hotel Entry Signage**  
0.8mH x 4.0mW  
3.2m<sup>2</sup>  
Refer RC11-07

**ayrburn domain**  
REFER  
SA STUDIO

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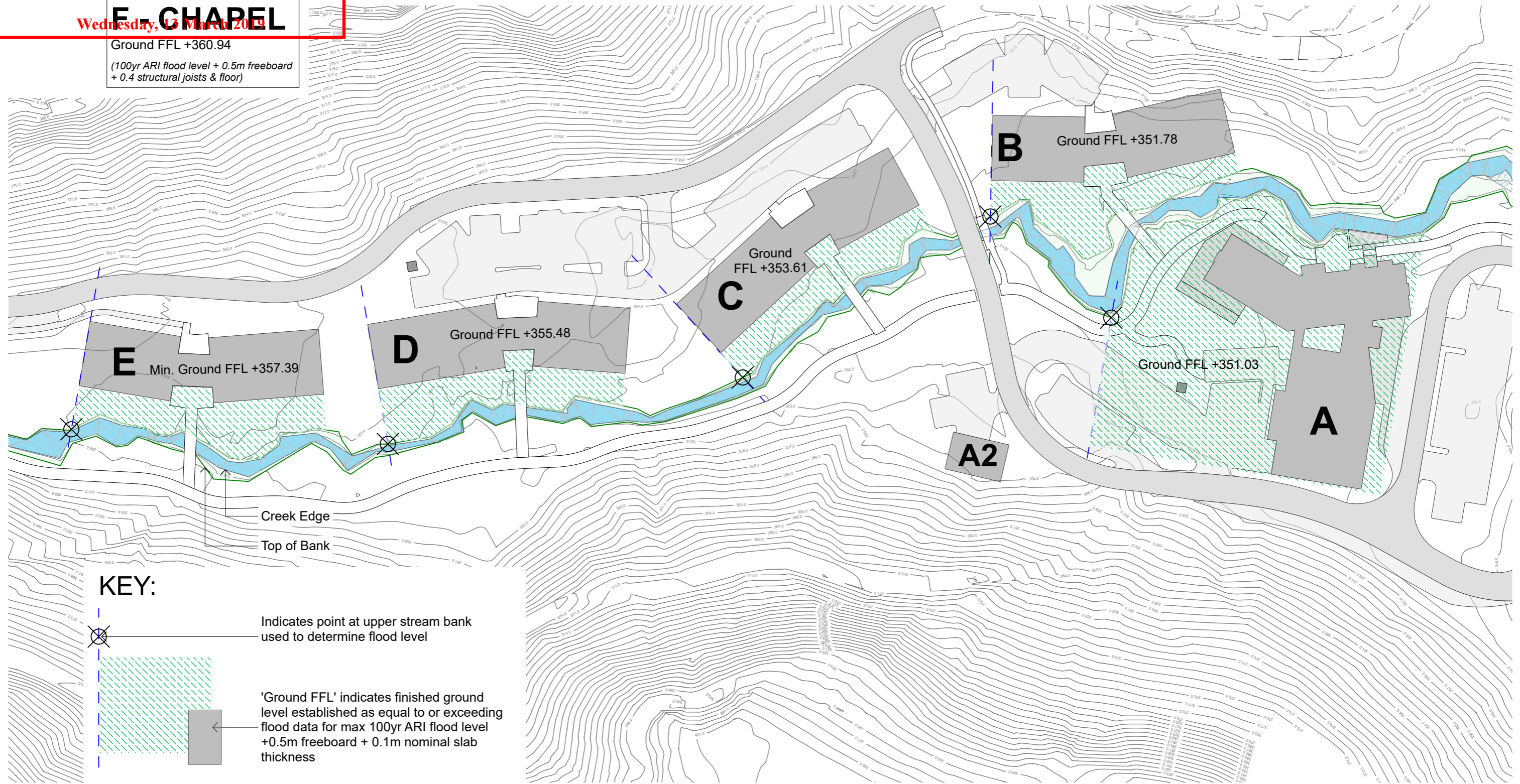


# 3.5 Functional Diagrams - Building Platform Levels

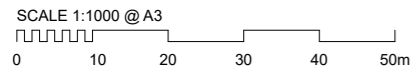
APPROVED PLAN:  
RM180584

**E - CHAPEL**  
Wednesday, 13 March 2019

Ground FFL +360.94  
(100yr ARI flood level + 0.5m freeboard  
+ 0.4 structural joists & floor)



Levels shown as advised by Fluent Solutions,  
Paterson Pitts Group & EngCo dated 19.03.2018  
& 15.06.2018



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**Building Platform Levels**

Scale: 1:1000 Orig. Size: A3  
Drawing No. Job No.: **2294**  
**RC03-05** Revision: **B**



# 4.2 Compliance Diagrams - Site Coverage Diagrams

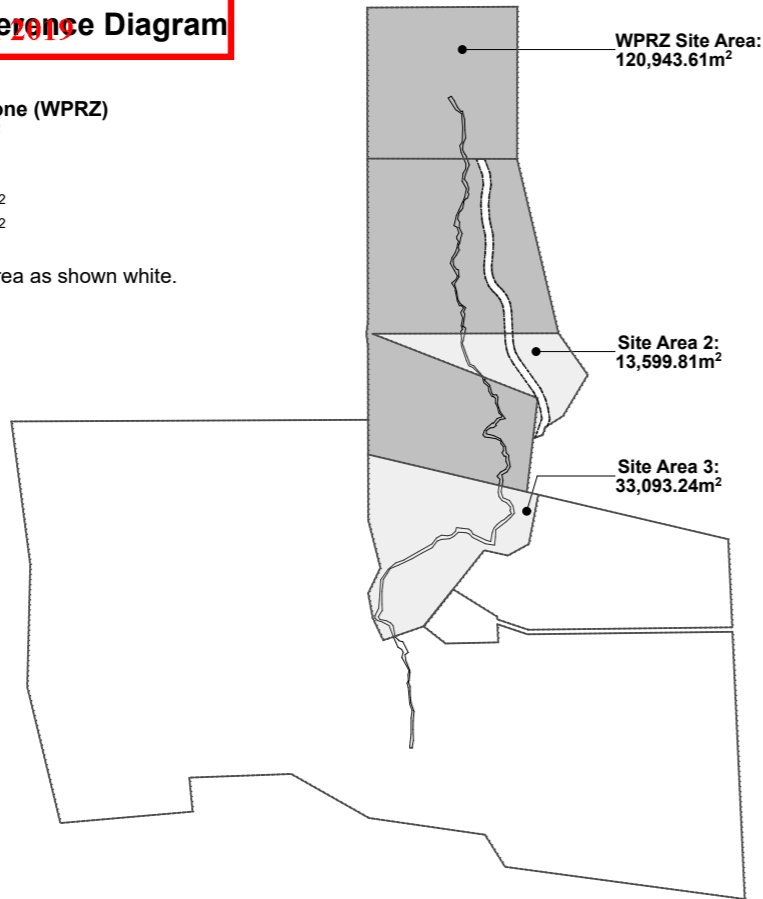
APPROVED PLAN:  
RM180584

## 1/ Total Site Reference Diagram

**Waterfall Park Resort Zone (WPRZ)**  
Site Area = 120,943.61m<sup>2</sup>

**Rural Zones**  
Site Area 2 = 13,599.81m<sup>2</sup>  
Site Area 3 = 33,093.24m<sup>2</sup>

All excluding legal road area as shown white.



### BUILDING COVERAGE (QLDC District Plan Definition):

Means that portion of the net area of a site which is covered by buildings or parts of buildings, including overhanging or cantilevered parts of buildings, expressed as a percentage or area. Building Coverage shall only apply to buildings at ground, or above ground level.

The following shall not be included in Building Coverage:

- Pergolas
- That part of eaves and/or spouting, fire aprons or bay or box windows projecting 600mm or less horizontally from any exterior wall.
- Uncovered terraces or decks which are not more than 1m above ground level.
- Uncovered swimming pools no higher than 1m above ground level.
- Fences, walls and retaining walls.
- Driveways and outdoor paved surfaces.

### RESORT ZONE STANDARD 12.2.5.2.vi(a) Site Coverage

In the Waterfall Park Resort Zone the maximum site coverage shall not exceed 5% of the total area of the Zone. For the purposes of this Rule, site coverage includes all buildings, accessory, utility and service buildings. Excludes weirs, filming towers, bridges and roads and parking areas.

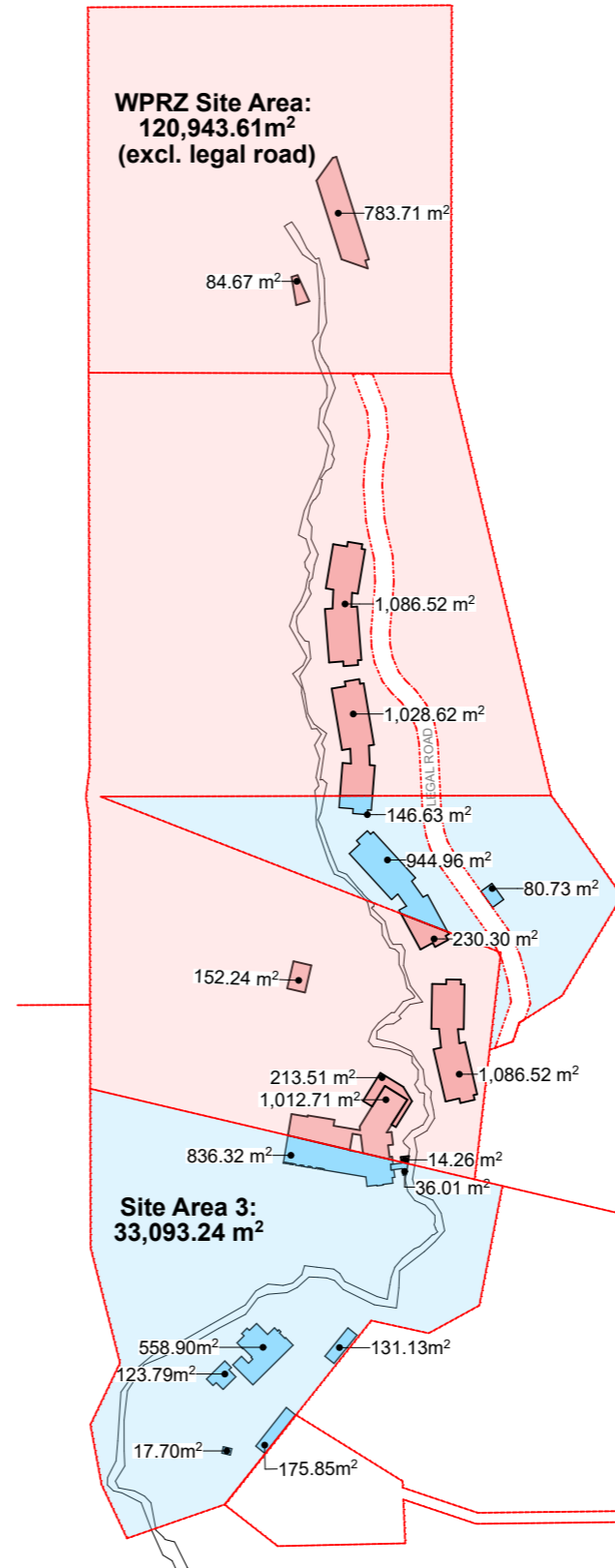
## 2/ Site Coverage Calculations

**Waterfall Park Resort Zone**  
Site Area WPRZ = 120,943.61  
Built Footprint = 5,678.80  
Site Coverage = 4.7%

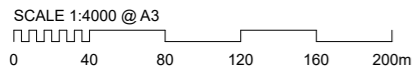
**Rural Zone**  
Site Area 2 = 13,599.81  
Built Footprint = 1,172.32  
Site Coverage = 8.6%

**Rural Zone**  
Site Area 3 = 33,093.24  
Built Footprint = 1,879.70  
Site Coverage = 5.7%

**OVERALL SITE COVERAGE**  
WPRZ + 2 + 3 = 167,636.66  
Built Footprint = 8,730.82  
Site Coverage = 5.2%



**Site Area 2:**  
13,599.81m<sup>2</sup>  
(excl. legal road)



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**WATERFALL PARK**

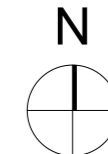
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Site Coverage Diagrams

Scale: 1:10000, 1:4000 Orig. Size: A3

Drawing No. Job No.: 2294

**RC04-02** Revision: B



# 4.3 Compliance Diagrams - Site Setback Diagrams

APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019

## 3/ Waterfall Park Resort Zone & Rural Zone Setbacks

Diagram showing Boundary Setbacks

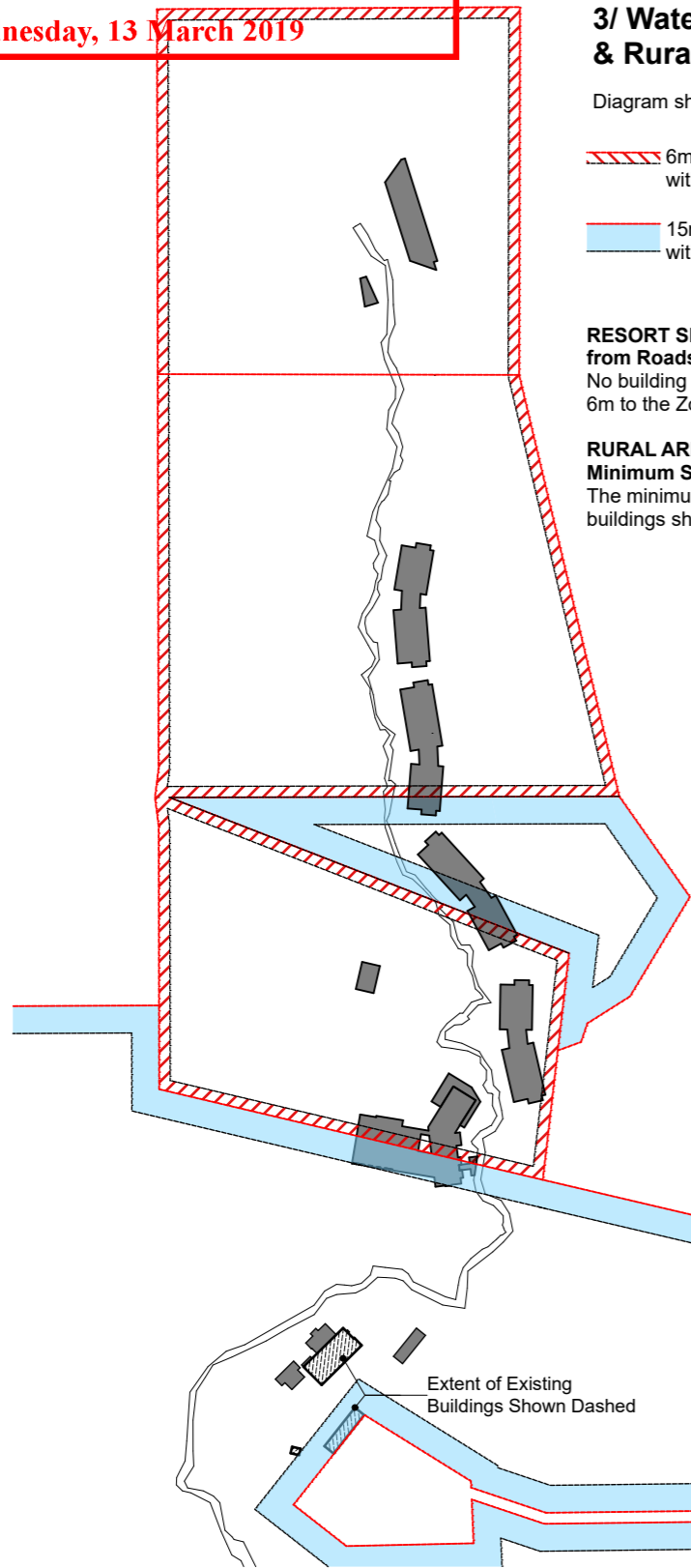
- 6m setback to zone boundary within Waterfall Park Resort Zone
- 15m setback to boundaries within Rural Zone

### RESORT SITE STANDARDS 12.2.5.1.ii(a) Setback from Roads and Internal Boundaries

No building or structure shall be located closer than 6m to the Zone boundary

### RURAL AREA SITE STANDARDS 5.3.5.1.vi(a) Minimum Setback from Internal Boundaries

The minimum setback from internal boundaries for buildings shall be 15m



## 4/ Mill Creek Setbacks

Diagram showing Setbacks from Mill Creek

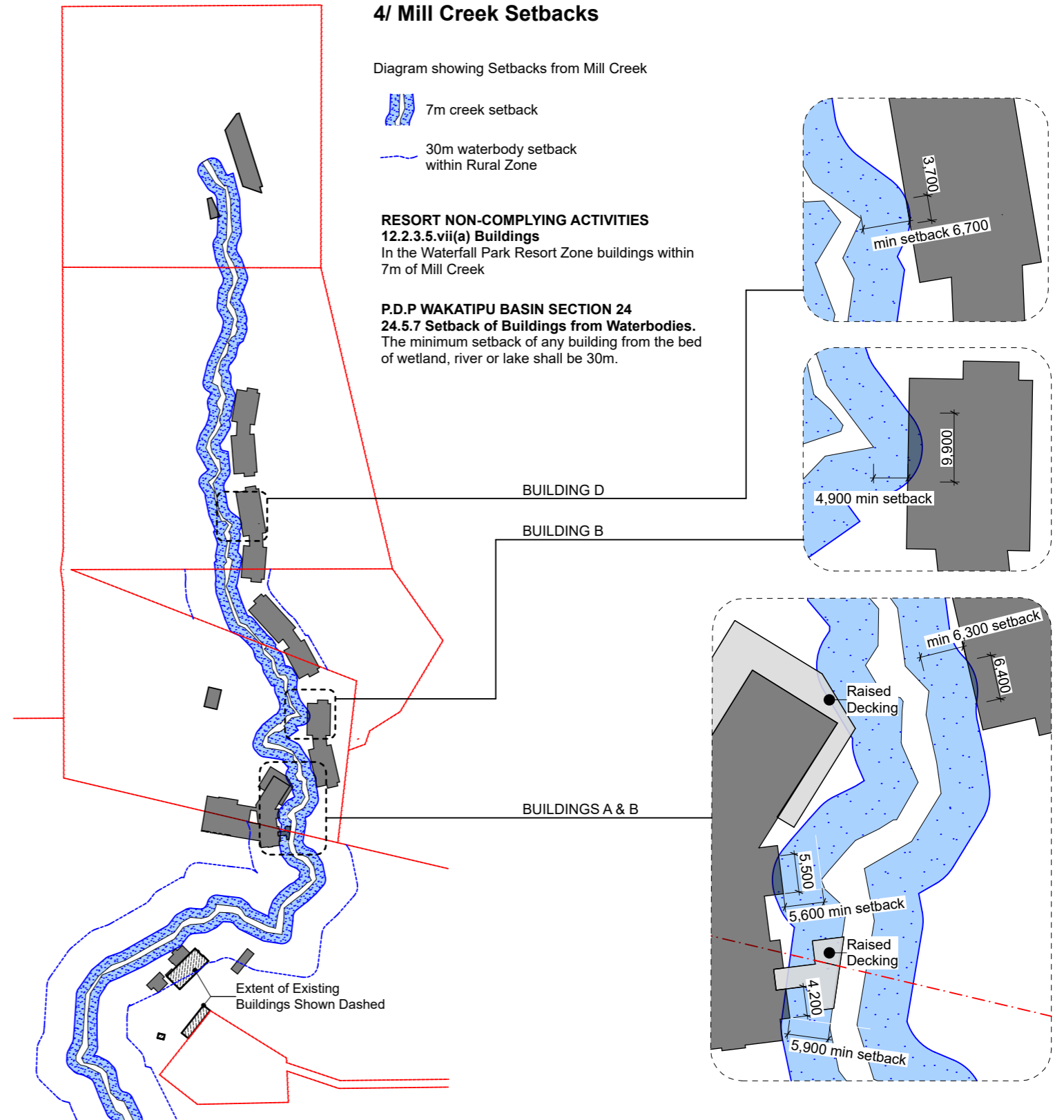
- 7m creek setback
- 30m waterbody setback within Rural Zone

### RESORT NON-COMPLYING ACTIVITIES 12.2.3.5.vii(a) Buildings

In the Waterfall Park Resort Zone buildings within 7m of Mill Creek

### P.D.P WAKATIPU BASIN SECTION 24 24.5.7 Setback of Buildings from Waterbodies.

The minimum setback of any building from the bed of wetland, river or lake shall be 30m.



SCALE 1:4000 @ A3  
0 40 80 120 160 200m

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## Site Setback Diagrams

Scale: 1:4000, 1:750 Orig. Size: A3

Drawing No. Job No.: 2294

**RC04-03** Revision: B

Printed: 5/07/18, 3:53 PM CAD Ref: 2294.91 WP\_Masterplan\_V02




# 4.4 Compliance Diagrams - Road Setback Diagrams

APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019

## 5/ Rural Zone Road Setbacks to EXISTING LEGAL ROAD


Diagram showing setback to existing legal road boundaries in rural zone

 20m setback to road boundaries within Rural Zone

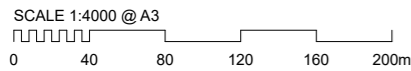
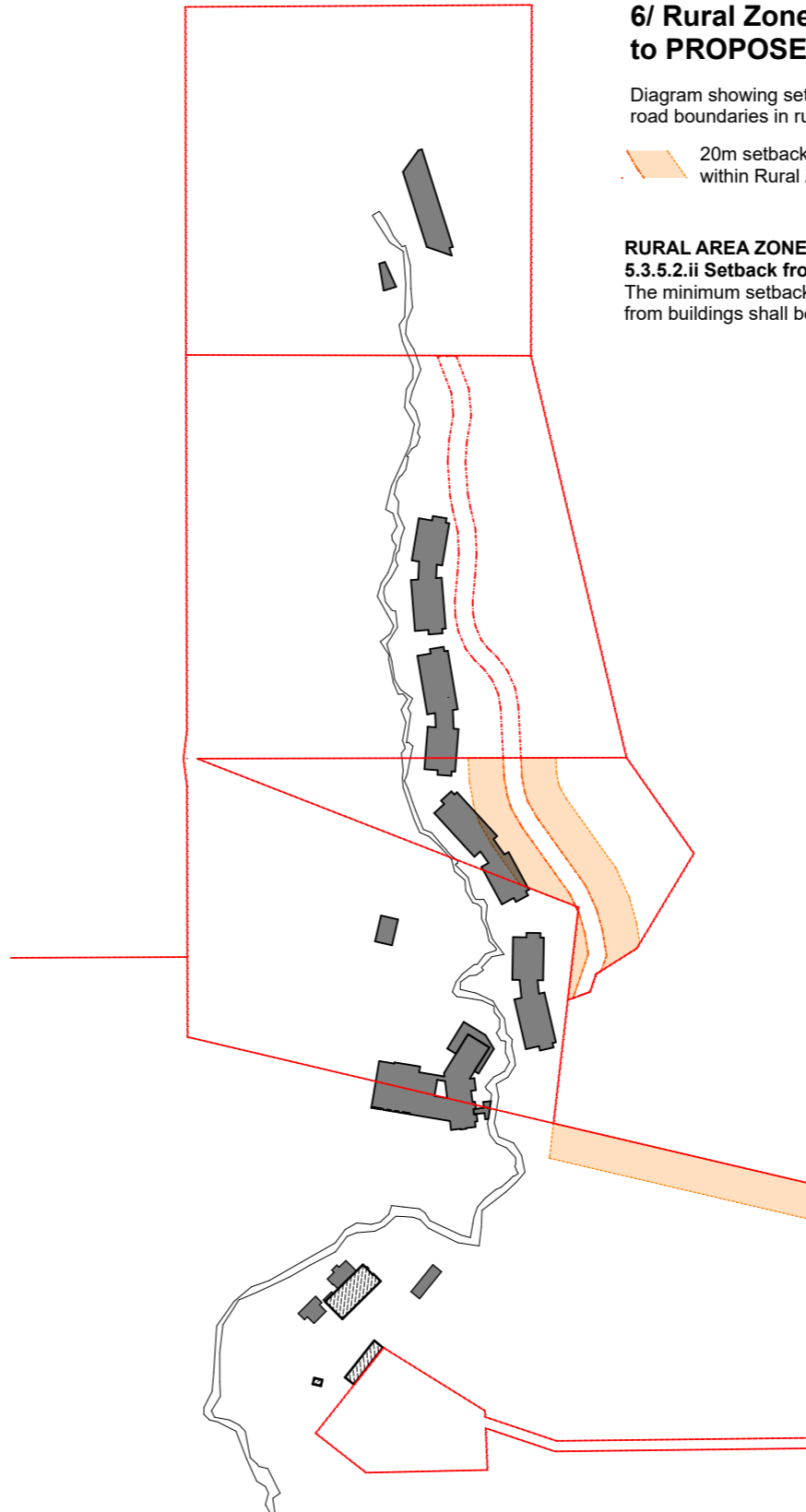
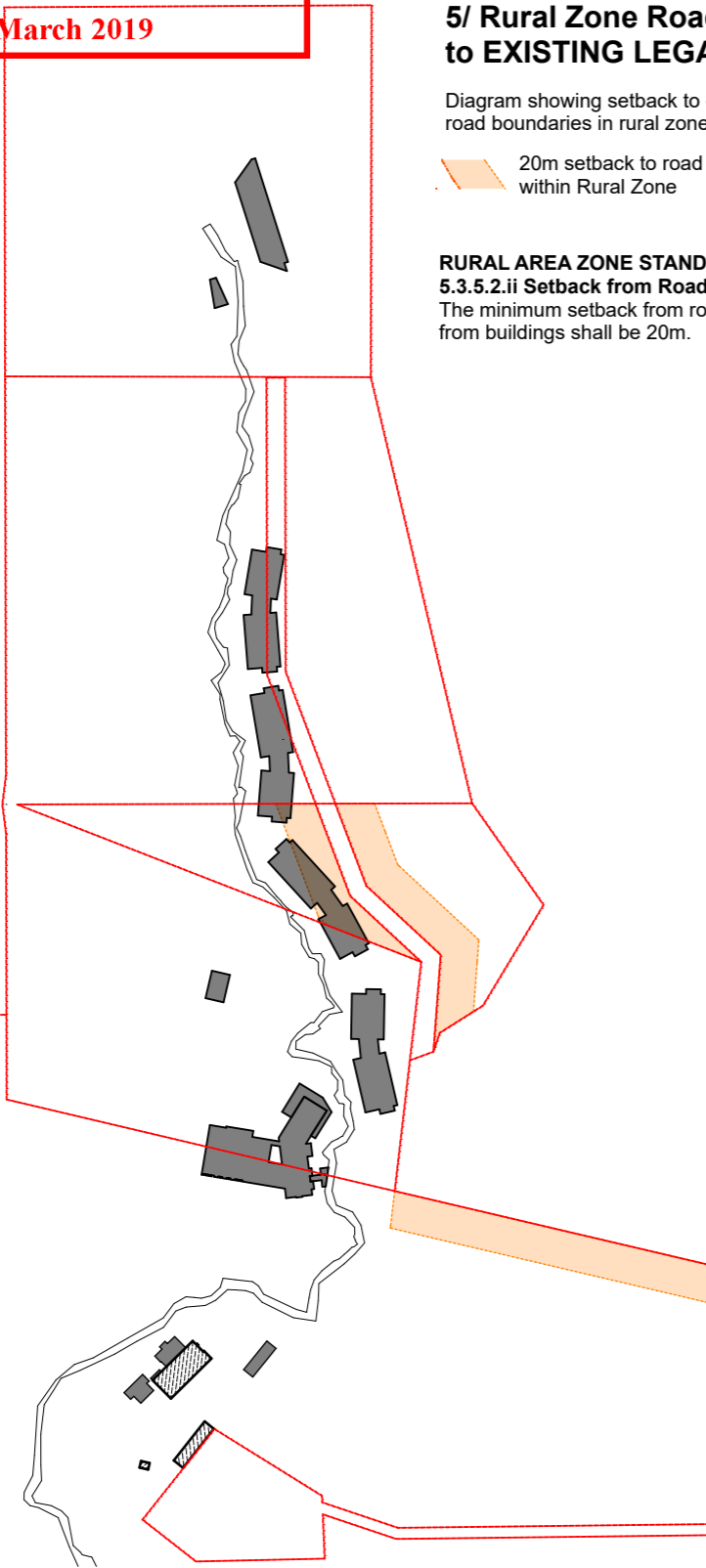
**RURAL AREA ZONE STANDARDS**  
**5.3.5.2.ii Setback from Roads**  
The minimum setback from road boundaries from buildings shall be 20m.

## 6/ Rural Zone Road Setbacks to PROPOSED LEGAL ROAD

Diagram showing setback to proposed legal road boundaries in rural zone

 20m setback to road boundaries within Rural Zone

**RURAL AREA ZONE STANDARDS**  
**5.3.5.2.ii Setback from Roads**  
The minimum setback from road boundaries from buildings shall be 20m.



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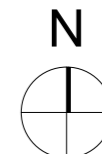
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Road Setback Diagrams

Scale: 1:4000      Orig. Size: A3

Drawing No.      Job No.: **2294**

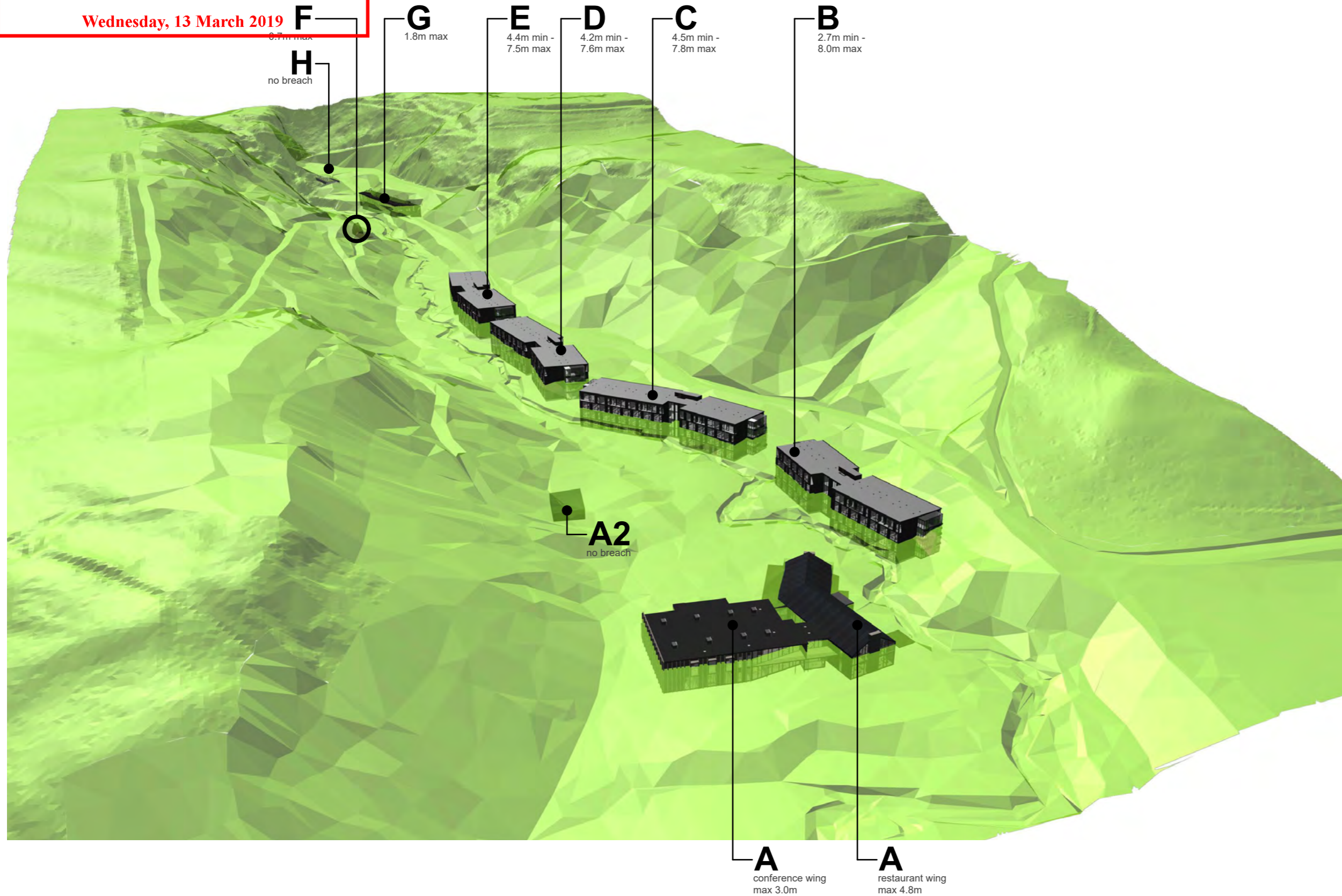
**RC04-04**      Revision: **B**



# 4.5 Compliance Diagrams - 3D Height Compliance

APPROVED PLAN:  
RM180584

Wednesday, 13 March 2019



This diagram shows the extent to which the proposed buildings exceed an 8m height plane above existing ground level.

**IMPORTANT NOTE:**  
The height limits detailed in these plans are based upon information available to date. Final detailed building design may result in height variation of +/-300mm.

**KEY**

8m Height Plane above Existing Ground Level

#.#m min - Max and Min breach of building above 8m height plane  
#.#m max

REFER BUILDING ELEVATIONS IN 'PART 2: BUILDINGS DESIGN & DRAWINGS' OF THIS APPLICATION FOR HEIGHT PLANE BREACHES AT EACH FACADE

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**3D Height Compliance Diagram**

Scale: \_\_\_\_\_ Orig. Size: A3

Drawing No. **RC04-05** Job No.: **2294**

Revision: **B**