

DECISION OF QUEENSTOWN LAKES DISTRICT COUNCIL

RESOURCE MANAGEMENT ACT 1991

Applicant:	Woodlot Properties Limited
RM Reference:	RM 160487
Location:	47 Erskine Street, Lake Hayes Estate
Proposal:	Subdivide land into 7 residential lots; land use consent for 6 additional residential units.
Type of Consent:	Subdivision and land use consent.
Legal Description:	Lot 1 DP 337268 held in CFR 152860
Valuation Number:	2907401001
Zoning:	Rural Residential
Activity Status:	Non-Complying Activity
Limited Notification:	2 September 2016
Commissioners:	W D Whitney & D Clarke
Date of Decision:	27 January 2017
Decision:	Consent is granted subject to conditions.

A. INTRODUCTION

A.1 Background

1. Woodlot Properties Limited has applied to the Queenstown Lakes District Council for subdivision consent to subdivide a site into 7 residential lots; and for land use consent for 6 residential units which breach density, building coverage, setback, roof colour and transport rules. The subject site is located at 47 Erskine Street at Lake Hayes Estate and has an area of 4026m² more or less. This site is described as Lot 1 DP 337268 as contained in Computer Freehold Register Identifier 152860 in the Otago Land Registration District.
2. The site is generally triangular in shape and has frontage (to the west) to Erskine Street. The north-eastern boundaries are shared with 45B and 45C Erskine Street being rear allotments which are served by a sealed driveway which is located immediately to the north-east of the subject site. The south-eastern boundary is shared with 49 Erskine Street which is also a rear allotment which is served by a driveway off Erskine Street.
3. The site is flat and is currently covered in grass. Wooden post and rail fences exist on the site boundaries. A dwelling exists on the site (on Lot 3 of the proposed subdivision); such dwelling being authorised by land use consent RM 160237 which was granted to Woodlot Properties Limited on 16 May 2016. A metalled driveway has been constructed on the site to serve the dwelling; such driveway being opposite the intersection of Erskine Street and Bridesdale Drive. Mail boxes have been constructed adjacent to the driveway.
4. Land generally to the east of Erskine Street (including the site) has a rural residential character albeit that land to the south of 49 Erskine Street is currently being developed into 148 residential allotments and one commercial allotment at the Bridesdale Farm Housing Accords & Special Housing Area [HASHA) being SH 150001.
5. Land to the west of Erskine Street has been subdivided and developed for low density residential purposes as part of the Lake Hayes Estate residential development.

A.2 The Proposal

6. Subdivision consent is sought to subdivide the site into 7 residential allotments (Lots 1-7) which vary in area between 450m² and 700m². Access to Lots 1, 2 and 5 is to be direct from Erskine Street; and access to Lots 3, 4, 6 and 7 is to be achieved via a right of way which coincides with the position of the existing driveway on the site opposite Bridesdale Drive.
7. Land use consent is sought for 6 residential units (dwellings) on Lots 1, 2, 4, 5, 6 and 7 of the subdivision (the dwelling on Lot 3 previously having been consented by RM 160237). Two storey dwellings are proposed on Lots 2 and 4 and single storey dwellings are proposed on the other allotments.
8. The dwellings will have a common design theme all being clad in Cedar Shiplap weatherboard and profiled coloursteel in Ebony; with roofs and joinery also being Ebony (being a dark grey colour with a Light Reflectance Value (LRV) of 5%).
9. In the application documentation and prior to the hearing the applicant has volunteered a range of conditions to mitigate effects. These include the following (or to like effect):
 - i. A comprehensive residential subdivision and development (as described above).
 - ii. Landscaping with Liquid Amber and Pin Oak trees in the Erskine Street verge and in the front yards of the allotments; with a Portuguese laurel hedge at the Erskine Street boundary.
 - iii. A Portuguese laurel hedge at the north-eastern boundary to extend from Erskine Street to an existing Leyland hedge.
 - iv. Retention of the existing post and rail fence at the Erskine Street frontage.
 - v. Any fence or similar structure on the internal property boundaries to be timber with a stain finish; restricted to a height of 1.2 metres within 4 metres of the Erskine Street boundary.
 - vi. Building design to be in accordance with the plans lodged with the application.

- vii. Cladding to be Cedar Shiplap weatherboard and profile coloursteel in Ebony, joinery to be Ebony.
 - viii. Roofs to be profiled coloursteel in Ebony.
 - ix. A common access to serve Lots 3, 4, 6 & 7 (to reduce access points to Erskine Street).
 - x. The engineering conditions and other conditions as detailed in Appendix 3 to Mr Macdonald's planning report.
10. The Commission confirms that it has assessed the proposal on the basis of the application as lodged and as amended in terms of the conditions offered by the applicant prior to the hearing.

A.3 Zoning

11. The site is zoned Rural Residential as shown on Map 30 of the Operative Queenstown Lakes District Plan (Operative District Plan/District Plan).
12. The site is proposed to be rezoned Low Density Residential Zone in the Proposed Queenstown Lakes District Plan (Proposed District Plan) which was publicly notified on 26 August 2015. Section 86B(1) of the Resource Management Act 1991 (the Act) confirms that a rule in a proposed plan has legal effect only once a decision on submissions relating to the rule is made and publicly notified. As no decision has been made and publicly notified with respect to the relevant rules of the Proposed District Plan those rules do not have legal effect albeit that the objectives and policies of the Proposed District Plan are relevant to the consideration of the application. The status of the current proposal must therefore be determined by reference to the rules of the Operative District Plan.
13. Site Subdivision Standard 15.2.6.2ii stipulates that lot dimensions within the Rural Residential Zone shall not be less than 30m x 30m. A breach of Site Subdivision Standard 15.2.6.2ii is a restricted discretionary activity in terms of Rule 15.2.3.3(i).
14. Zone Subdivision Standard 15.2.6.3i(a) states that the minimum lot area for subdivision in the Rural Residential Zone is 4000m². A breach of Zone Subdivision Standard 15.2.6.3i(a) is a non-complying activity pursuant to Rule 15.2.3.4(i).

15. Site Standard 8.2.4.1i establishes a maximum building coverage for all activities on any site in the Rural Residential Zone of 15%. A breach of Site Standard 8.2.4.1i is a restricted discretionary activity in terms of Rule 8.2.2.3iv.
16. Site Standard 8.2.4.1ii(a) requires a minimum setback from internal boundaries of 6 metres in the Rural Residential Zone. A breach of Site Standard 8.2.4.1ii(a) is a restricted discretionary activity in terms of Rule 8.2.2.3iv.
17. Zone Standard 8.2.4.2viii(b) confirms that the maximum density of residential units in the Rural Residential Zone shall be one residential unit per 4000m². A breach of Zone Standard 8.2.4.2viii(b) is a non-complying activity in terms of Rule 8.2.2.4vii.
18. Zone Standard 8.2.4.2ix requires a minimum setback from road boundaries of 10 metres in the Rural Residential Zone. A breach of Zone Standard 8.2.4.2ix is a non-complying activity in terms of Rule 8.2.2.4vii.
19. Zone Standard 8.2.4.2x requires that the roof of any dwelling in the Rural Residential Zone south-west of Lake Hayes shall be within the range of browns, greens, greys and blue greys. Mr Macdonald advised us that the colour Ebony falls outside this range. A breach of Zone Standard 8.2.4.2x is a non-complying activity pursuant to Rule 8.2.2.4vii.
20. Site Standard 14.2.4.2v establishes a maximum number of three vehicle crossings for a site with a frontage between 61 and 100 metres. A breach of Site Standard 14.2.4.2v is a restricted discretionary activity in terms of Rule 14.2.2.3ii.
21. Site Standard 14.2.4.2vi establishes a minimum distance of 25 metres for vehicle crossings from intersections. A breach of Site Standard 14.2.4.2vi is a restricted discretionary activity in terms of Rule 14.2.2.3ii.
22. Having regard to the above the Commission has considered the proposal as an application for subdivision consent and land use consent to a non-complying activity.

A.4 Submissions

23. Limited notification was given of the application and three submissions were received within the statutory submission period which closed on 30 September 2016. The submissions by Blair & Holly Christmas and by Michelle Bose & Robert Wood oppose the application; whereas the submission by Doug Anderson supports the application.

24. The Commission has given consideration to the contents of all of the submissions received in response to the application.

A.5 Reports and Hearing

25. The Commission has had the benefit of a planning report dated 18 November 2016 prepared by Mr Kenny Macdonald, a Planner with the Queenstown Lakes District Council; and an engineering report dated 31 October 2016 prepared by Mr Michael Wardill an Engineer with the Queenstown Lakes District Council. At the hearing on Thursday 15 December 2016 the Commission was assisted by Mr Macdonald; and Ms Paula Costello, a Senior Planner with the Queenstown Lakes District Council, was also in attendance. Ms Rebecca Nash-Jones, a Committee Secretary with the Queenstown Lakes District Council, provided administrative support at the hearing.

26. Prior to the hearing the Commission had the opportunity to consider the application and supporting material; the submissions; the section 42A planning report and appendices thereto; and the pre-circulated primary evidence and supplementary evidence prepared by Mr Carey Vivian for the applicant. The Commission made a site inspection with Mr Macdonald prior to the hearing on 15 December 2016.

27. At the hearing the applicant was represented by Ms Jayne Macdonald, solicitor, of Macalister Todd Phillips; Mr Carey Vivian, a Resource Management Planner and Director for of Vivian + Espie Limited; and Mr David Broomfield, a Director of Woodlot Properties Limited.

28. Ms Michelle Bose represented herself and Robert Wood at the hearing.

29. The planning and engineering reports were taken as read and Mr Macdonald was invited to comment following the presentation of the evidence. Following Ms Macdonald's reply the hearing was adjourned.

A.6 Principal Issues in Contention

30. The principal issues in contention are the effects on the environment of allowing the subdivision and residential activity to proceed on the subject site.

B. EFFECTS ON ENVIRONMENT

B.1 Permitted & Consented Baseline

31. Section 104(2) of the Act states that when forming an opinion for the purposes of section 104(1)(a), a consent authority may disregard an adverse effect of the activity on the environment if the plan permits an activity with that effect.

32. There is no permitted baseline in terms of the Operative District Plan that is relevant to the application. The permitted baseline is not relevant in the context of the Proposed District Plan as the rules of the Proposed District Plan have no legal effect at this time.

33. RM 160237 permits a dwelling on Lot 3 of the proposed subdivision. This dwelling is permitted to encroach into the minimum setback from Erskine Street; has an Ebony roof colour; and access to the dwelling coincides with the position of the proposed right of way. The dwelling authorised by the existing land use consent RM 160237 will form part of the comprehensive development provided for in the application.

B.2 Affected Persons Approvals

34. No affected persons approvals from other parties have been received. It is acknowledged however that the applicant is deemed to have provided affected persons approval for any breaches to bulk and location rules which are internal to the subdivision.

B.3 Assessment Matters

35. The Queenstown Lakes District Plan became fully operative on 10 December 2009. The Operative District Plan contains assessment matters in Parts 8, 14 and 15 that are relevant to subdivision and development in the Rural Residential Zone.

36. The assessment of environmental effects that forms part of the application, the Officer's reports and the evidence have assessed the effects of the activity, guided by the relevant assessment matters. This approach is appropriate in this instance and the Commission has assessed the actual and potential effects of the proposed activity having regard to the relevant assessment matters presented in Parts 8, 14 and 15 of the Operative District Plan.

B.4 Landscape, Visual and Amenity Effects

37. The proposed activity will change the existing character of the site from a large allotment with one residential activity (as authorised by RM 160237) to a low density residential development. This development has frontage to Erskine Street and will face the low density residential development which has occurred on the west side of Erskine Street.

38. The Commission is satisfied that the residential subdivision and development proposed will complement the development which has occurred to the west of Erskine Street and that any landscape, visual and amenity effects on properties to the west of Erskine Street will be no greater than minor. The Commission notes in this context that no submissions were received from the owners of properties located to the west of Erskine Street directly opposite the subdivision.

39. Properties adjacent to the site on the east side of Erskine Street are also located in the Rural Residential Zone. The submitters own those properties to the east of Erskine Street which are immediately adjacent to the subject site.

40. When assessing the effects on the submitters it is appropriate to acknowledge that certain plantings are to be retained on the submitters' properties in accordance with the approved Structural Landscape Plans which form part of the land use consents for dwellings on those properties. The proposed Structural Landscape Plan for the subject site (which is attached to Mr Vivian's primary evidence as Attachment CV 13) identifies plantings which are to be maintained on the neighbouring properties. The Commission has assessed the landscape, visual and amenity effects on the immediate neighbours having regard to these plantings and to the additional plantings proposed by the applicant.

41. RM 150320 which relates to the Bose and Wood property at 45B Erskine Street requires that an existing Leyland hedge (17 plants) and an existing row of Douglas Fir (23 plants) be maintained. The Commission is satisfied that these plantings, in combination with the Portuguese laurel hedge to be planted at the north-east boundary of the site that is to be maintained by the applicant and future owners of Lots 1, 2 and 7, will serve to provide sufficient screening of the development as viewed from the Bose & Wood property (including from the sealed driveway which serves the Bose & Wood and Christmas properties).
42. RM 140434 which relates to the Christmas property at 45C Erskine Street requires that the hedge on the western boundary that is shared with the subject site be maintained at a height of no less than 2.5 metres. The Commission considers that this hedge will provide satisfactory screening of the subject site from the Christmas property.
43. Mr Vivian noted that plantings are established at the entrance to the Anderson property at 49 Erskine Street which are to be maintained in terms of RM 060666. An existing hedge and mounding are also located on the Anderson property generally to the south of Lot 6 of the proposed subdivision. The Commission notes that Mr Anderson has supported the proposal albeit that he has sought that the existing hedge (on the Christmas property) be maintained. The Commission simply notes that this hedge is located on the Christmas property and that the applicant cannot be required to maintain that hedge.
44. When assessing the landscape, visual and amenity effects on the immediate neighbours the Commission has given consideration to the existing plantings on neighbouring sites and to the proposed plantings on the subject site (which are to be maintained in terms of resource consent conditions); and to the location and orientation of the dwellings on the neighbouring sites.
45. The Commission notes that while the development will have noise effects associated with residential activity which have the potential to have some effect on amenity values; that such effects are not unexpected in this locality given the existing Low Density Residential Zone which exists at Erskine Street.

46. In all the circumstances the Commission has concluded that the landscape, visual and amenity effects of the proposed activity will be no greater than minor in this instance and that such effects can be mitigated by adherence to appropriate conditions of subdivision and land use consent.

B.5 Access and the Provision of Services

47. Erskine Street has a formed width of 7.2 metres with a footpath on the western and northern side of the road. The speed limit at Erskine Street is 50 kph. The consented environment created by RM 160237 equates to 8 traffic movements per day (for one residential unit on the site) and the proposal will result in an additional 48 movements per day (associated with the 6 additional residential units).

48. Mr Wardill has addressed the traffic effects of the proposal. He has noted that the access to Lots 3, 4, 6 and 7 coincides with the access point approved under RM 160237 (for a single dwelling) and he has no concern with respect to the increased traffic movements on the proposed right of way. Mr Wardill considers that it is unlikely that this access arrangement will result in unsafe traffic outcomes and he confirms that no intersection controls are necessary leading onto Erskine Street.

49. Mr Wardill has advised that the accesses proposed for Lots 1, 2 and 5 are acceptable; and he has noted that the accesses to Lots 2 and 5 are located as far as practicable from the right of way access.

50. Mr Wardill has also noted that two on-site parking spaces are shown for each dwelling and that on-site manoeuvring areas are provided to prevent cars reversing off the site.

51. The Commission is satisfied that any effects of the proposal in terms of the safe and efficient operation of the roading network will be no greater than minor and can be mitigated by adherence to conditions of consent as recommended by Mr Wardill.

52. The subject site is fully serviced with water supply, wastewater disposal, electricity and telecommunication services; and such services are to be provided to all allotments in the proposed subdivision. The applicant has provided a report from Clark Fortune McDonald & Associates dated March 2016 which assesses the effects of the proposal in terms of demand for services; and that report concludes that the proposed development will have a minimal effect on the existing networks.
53. Mr Wardill is satisfied that capacity exists in terms of water, stormwater and sewer reticulation to serve the proposal. Mr Wardill has noted in particular that existing fire hydrants are located within 135 metres of all allotments and that no further infrastructure is necessary in that regard. Mr Wardill is also satisfied that a high level of confidence exists with respect to the adequacy of power and telecommunication services in this locality.
54. In all the circumstances the Commission is satisfied that any effects in terms of the provision of services will be no greater than minor.

B.6 Urban Design Effects

55. The proposal is a Comprehensive Residential Development as defined on page D-3 of the Operative District Plan. The application notes that the Operative District Plan contains urban design assessment criteria for assessing Comprehensive Residential Developments in the Low Density Residential Zone. While such assessment criteria do not apply in the Rural Residential Zone, such criteria are useful in assessing the urban design effects of the proposal. The Commission acknowledges in this context that the proposed Low Density Residential Zone status of the subject site (as provided for in the Proposed District Plan) has not been opposed through submissions.
56. The Assessment of Environmental Effects attached to the application discusses the urban design effects of the proposal in considerable detail. The Commission finds, having regard to the urban design assessment criteria for Comprehensive Residential Developments in the Low Density Residential Zone of the Operative District Plan, that the proposal is consistent with the principles of good urban design. The Commission notes in this context that the setback of the residential units on Lots 1, 2 and 5 from Erskine Street is consistent with the setback of the existing dwelling on Lot 3 that has previously been consented in terms of RC 160237.

57. The Commission is satisfied that any effects in terms of urban design will be no greater than minor.

B.7 Potential Soil Contamination

58. The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (NES) came into force on 1 January 2012. The applicant has provided email correspondence from Tracey Diack of the Otago Regional Council dated 24 May 2016 which confirms that the subject site is not identified on that Council's database of sites which are known to have the potential to be contaminated land. The application also confirms that a review of Queenstown Lakes District Council consents registered against the site does not identify any hazardous activities. The Commission concludes that the site is not a piece of land for the purposes of the NES; and that any effects in terms of potential soil contamination will be less than minor.

B.8 Hazards

59. The application discloses that the Queenstown Lakes District Council's hazard maps have identified the site as having "Possible Liquefaction Risk"; being consistent with the identification of the wider area which includes the Lake Hayes Estate and neighbouring Shotover Country urban areas. Opus International Consultants Ltd has prepared a Geotechnical Investigation Report dated 1 September 2016 with respect to the proposal. That report concludes that the subdivision and development proposed is feasible from a geotechnical perspective, provided the recommendations contained within the Opus report and suitable engineering standards are followed.

60. Mr Wardill accepts the expert assessment contained in the Opus report and confirms that he is satisfied that the lots are unlikely to be at risk from liquefaction and he has made no specific recommendations in that regard. Mr Wardill has recommended a condition to be subject to a consent notice with respect to foundation design for the residential units that are subject to this application.

61. The Commission is satisfied that any effects associated with hazards will be no greater than minor in this instance.

B.9 Positive Effects

62. The proposal will have a positive effect by contributing to the availability of housing stock and to housing affordability in the District, albeit to a limited degree. The Commission is satisfied that the development is to be undertaken to a high quality standard and considers that the comprehensive nature of the development will achieve a positive effect in terms of urban design which will contribute to the streetscape at Erskine Street.

B.10 Summary : Effects and Assessment Matters

63. The Commission finds that the proposal will not have adverse effects which are greater than minor in terms of landscape, visual and amenity effects; access and the provision of services; urban design; potential soil contamination; and hazards. The Commission also acknowledges that the proposal will have positive effects in terms of contributing to the availability of housing stock and housing affordability in the District; and that a high quality development will result from the comprehensive nature of the development.

C. OBJECTIVES & POLICIES

64. Section 104(1)(b)(vi) of the Act requires that the consent authority have regard to any relevant provisions of a plan or proposed plan. The application and Mr Macdonald's section 42A report assesses the proposal in terms of the objectives and policies of the Operative District Plan and the Proposed District Plan. To a large degree the objectives and policies of the Operative District Plan and the Proposed District Plan relate to matters discussed in Section B of this decision. It is neither desirable or necessary, therefore, to undertake a line by line analysis of every objective and policy as this would involve a significant amount of repetition without materially advancing the Commission's analysis of this application.

C.1 Operative District Plan

65. Parts 4, 8, 14 and 15 of the Operative District Plan contain objectives and policies for the whole District, for Rural Living Areas (including the Rural Residential Zone), for Transport and for Subdivision.

Part 4

66. Section 4.2 relates to Landscape and Visual Amenity. Objective 4.2.5 is:

“Objective:

Subdivision, use and development being undertaken in the District in a manner which avoids, remedies or mitigates adverse effects on landscape and visual amenity values.”

67. Objective 4.2.5 is supported by a number of policies. Policies of relevance include Policy 1 Future Development which relates to the effects of development; Policy 7 Urban Edges; Policy 8 that relates to Avoiding Cumulative Degradation; Policy 9 that relates to Structures; and Policy 17 that relates to Land Use.

68. Policy 1 – Future Development – is to avoid, remedy or mitigate the effects of development and/or subdivision in those areas of the District where the landscape and visual amenity values are vulnerable to degradation; to encourage development and/or subdivision to occur in areas of the District that have a greater potential to absorb change without detracting from landscape and visual amenity values; and to ensure that subdivision and/or development harmonises with local topography and ecological systems and other nature conservation values as far as possible.

69. The Commission is satisfied that this policy is satisfied in this instance. The development is to occur in an area that has potential to absorb change without detracting from landscape and amenity values.

70. In terms of Policy 7 – Urban Edges the Commission concurs with Mr Macdonald that the site adjoins the Lake Hayes Estate urban development to the west; and the consented Bridesdale HASHA to the south-west. The Commission concurs with Mr Macdonald that the proposal can be viewed as being an appropriate extension of the existing low density residential area; and that the proposal is generally consistent with Policy 7.

71. In terms of Policy 8 – Avoiding Cumulative Degradation – the Commission is satisfied that the proposed density of development will not increase to the point where the benefits of further planting and building are outweighed by adverse effects on landscape values of over domestication of the landscape in this environment. The Commission is satisfied that the proposal is consistent with Policy 8(a); and having regard to the comprehensive nature of the development, the Commission considers that the proposal is comprehensive and will be sympathetic to the rural area in terms of Policy 8(b).
72. Policy 9 – Structures refers specifically to rural landscapes. In this instance the structures will be located within the Rural Residential Zone at Erskine Street which is a suburban street at Lake Hayes Estate. Having regard to the prevailing environment the Commission is satisfied that the proposal is consistent with Policy 9.
73. Policy 17 – Land Use – encourages land use in a manner which minimises adverse effects on the open character and visual coherence of the landscape. It is again acknowledged in this context that the development is to occur at Lake Hayes Estate directly opposite existing low density residential subdivision and development. The proposal is therefore consistent with Policy 17.
74. Mr Macdonald's report also assessed the proposal in terms of the objectives and policies in Section 4.5 – Energy, Section 4.8 – Natural Hazards and Section 4.9 – Urban Growth. The Commission concurs with Mr Macdonald that the proposal is not contrary to, and is generally consistent with, these objectives and policies.

Part 8

75. Part 8 contains objectives and policies which relate specifically to the Rural Living Areas – which includes the Rural Lifestyle and Rural Residential Zones. Objective 1 and relevant policies state as follows:

“Objective 1 – Rural Living

Establishment of low density rural living managed and contained in both extent and location.

Policies:

- 1.1 *Identify areas for rural living activity having regard to the self-sufficiency of water and sewerage services.*

1.2 *Recognise and provide for rural living development.*

...

76. In this instance the site can be connected to existing reticulated water and sewerage services. Objective 1 and Policy 1.2 are of limited relevance given the urban context of the site at Lake Hayes Estate.

77. Objective 2 and its associated policies state as follows:

“Objective 2 – Rural Amenity

Avoiding, remedying or mitigating adverse effects of activities on rural amenity.

Policies:

...

2.2 *Remedy or mitigate adverse effects of activities, buildings and structures on visual amenity.*

2.3 *Ensure residential dwellings are set back from property boundaries, so as to reduce adverse effects from activities on neighbouring properties.*

...”

78. The Commission is satisfied that the adverse effects on visual amenity have been satisfactorily addressed in this instance. The comprehensive nature of the development and existing and proposed plantings will serve to mitigate any effects on visual amenity. The Commission is also satisfied that any breaches of boundary set backs will not result in significant adverse effects on neighbouring properties.

Part 14

79. Part 14 contains objectives and policies relating to Transport. The relevant objectives and policies are presented in Mr Macdonald’s section 42A report and the Commission concurs with Mr Macdonald that the proposal is consistent with the relevant objectives and policies stated in Part 14.

Part 15

80. Part 15 contains objectives and policies with respect to Subdivision. Again the relevant objectives and policies are presented in Mr Macdonald’s section 42A report. The Commission concurs with Mr Macdonald that the proposal is not contrary to the relevant objectives and policies which relate to subdivision as presented in Part 15 of the Operative District Plan.

C.2 Proposed District Plan

81. The objectives and policies from the Proposed District Plan are presented in the application; and objectives from the Proposed District Plan are presented at Appendix 4 to Mr Macdonald's section 42A report.

82. Mr Vivian's evidence confirms that no submissions have been lodged which seek to challenge the application of the Low Density Residential Zone to the subject site as provided for in the Proposed District Plan. While several submissions have been received in relation to proposed site and zone standards; the proposed subdivision falls within the range of outcomes sought by submitters with respect to minimum lot size in the proposed Low Density Residential Zone. The Commission accepts Mr Vivian's assessment that the proposed Low Density Residential Zone for the subject site is a *fait accompli*; and that as a consequence significant weighting should be applied to the objectives and policies relevant to the proposed Low Density Residential Zone of the Proposed District Plan in the consideration of this application.

83. The Commission has given consideration to the objectives and policies presented in Part 4.2 – Urban Development, Part 7 – Low Density Residential Zone and Part 21 – Subdivision as presented in the Proposed District Plan and as reproduced in the application. The subdivision and development proposed is consistent with that which can be expected in the proposed Low Density Residential Zone and as a consequence the Commission is satisfied that the proposal is entirely consistent with the objectives and policies of the Proposed District Plan. The Commission's overall conclusion is that the proposal is not contrary to the objectives and policies of the Proposed District Plan which can be given significant weight in this instance.

C.3 Summary : Objectives and Policies

84. Following the above analysis, the Commission finds that the proposal is generally consistent with those objectives and policies of the Operative District Plan that are relevant to the application; and that the proposal is entirely consistent with the objectives and policies stated in the Proposed District Plan that are relevant to the proposed Low Density Residential Zone which is to include the site.

D. OTHER MATTERS

85. Section 104(1)(c) of the Act requires the consent authority to have regard to any other matter the consent authority considers relevant and reasonably necessary to determine the application.

D.1 Precedent

86. Precedent is a relevant consideration as consent is sought for a non-complying activity. Mr Macdonald has noted that there are many examples in the Rural Residential Zone at Lake Hayes Estate where subdivision has occurred at a significantly higher density than anticipated in the Rural Residential Zone (where a minimum lot area of 4000m² applies). Mr Macdonald observed that lot sizes of 700 or 800m² are typical of the Rural Residential Zone to the north and south of Lake Hayes Estate.
87. The Commission acknowledges that Erskine Street at Lake Hayes Estate is a suburban street and that urban development is located directly across Erskine Street from the subject site. The approved Bridesdale HASHA is also located in close proximity to the site.
88. It is also appropriate to acknowledge the Proposed District Plan in the context of precedent. The Commission has been advised that there are no submissions opposing the rezoning of the subject site to Low Density Residential; and that those submissions which relate to proposed site and zone standards will not have the effect of amending the relevant rules such that the proposal would be contrary to those rules.
89. In all the circumstances the Commission is satisfied that the proposal will not establish a significant precedent for small lot subdivision and development in the Rural Residential Zone.

D.2 Benefit of Consenting

90. The subdivision and land use consent process in terms of the Operative District Plan provides benefits in terms of the conditions which can be applied. In essence a suite of conditions can be applied which are likely to provide a higher standard of development than would otherwise result once the proposed Low Density Residential Zone provisions come into full legal effect on the subject site. Consenting at this time will therefore produce positive benefits for neighbouring owners, including the submitters.
91. The Commission also acknowledges that a comprehensive residential development is proposed in this instance rather than the mixture of housing designs which might otherwise result if development occurs on a lot by lot basis in terms of the proposed Low Density Residential Zone provisions
92. The Commission observes that while the minimum lot area anticipated in the Low Density Residential Zone is 450m² that the subdivision will achieve an average lot area of 575m². The current proposal will therefore produce a less dense form of development than could occur in terms of the proposed Low Density Residential Zone rules which the Commission has been advised may create minimum lots of 450m² and a minimum density of residential development which equates to a ratio of one residential unit per 300m² of land area.
93. The Commission's overall conclusion is that consenting at this time will produce positive outcomes in terms of the high quality development which will result from the current proposal; with such development being subject to a comprehensive suite of conditions of both subdivision and land use consent.

D.3 Matters Raised by Submitters

94. The Commission confirms again that it has given consideration to the matters raised in all submissions. As noted above the Commission is satisfied that significant weight should be given to the objectives and policies of the Proposed District Plan as they relate to the site. This is particularly relevant to the concerns expressed by the opposing submitters with respect to their properties in the existing rural residential subdivision to the east of Erskine Street and associated amenity values.

The Commission emphasises in this context that adverse effects in terms of landscape, visual and amenity effects on neighbouring properties will be mitigated in this instance.

95. The Commission notes that the opposing submitters have not opposed the rezoning of the subject site from Rural Residential to Low Density Residential in the Proposed District Plan. In the absence of opposing submissions from the neighbours (or any other parties) the future Low Density Residential zoning of the subject site is a *fait accompli*.
96. The Commission has given consideration to the specific measures proposed by Ms Bose at the hearing which were opposed by Mrs Macdonald. These measures included a “no complaints” covenant against any hedging or trees on the submitters’ property; the establishment of a 3.5 metre minimum height hedge; a requirement that all houses comply with internal and external boundary setbacks and height recession planes; no two storey dwellings; and less houses (by reducing density to 600m²) with a no future development restriction on the site to be covenanted. The Commission concludes that each of these measures would be unreasonable and is unnecessary in this instance.

D.4 Other Matters

97. No other matters appear to have any particular relevance in this instance in terms of section 104(1)(c).

E. SECTION 104D

98. Section 104D(1) of the Act confirms that a consent authority may grant a resource consent for a non-complying activity only if it is satisfied that either-
 - The adverse effects of the activity on the environment will be minor; or
 - The application is for an activity that will not be contrary to the objectives and policies of both the relevant plan and the relevant proposed plan.

99. In this instance the Commission has concluded that any adverse effects of the activity on the environment will be no greater than minor; and that the proposal will not be contrary to the objectives and policies of the Operative District Plan and the Proposed District Plan. Accordingly the Commission is satisfied that the application passes through both gateways provided for in terms of section 104D of the Act.

F. PART 2 OF THE ACT

100. Part 2 of the Resource Management Act contains sections 5 to 8. These are referred to in reverse order.

101. Section 8 requires the Commission, in exercising its functions on this application, to take into account the principles of the Treaty of Waitangi. No issues were raised in reports or evidence in relation to section 8.

102. Section 7 directs that in achieving the purpose of the Act particular regard is to be had to certain matters which include, of relevance here, the efficient use and development of natural and physical resources; the maintenance and enhancement of amenity values; and the maintenance and enhancement of the quality of the environment. The proposal will serve to achieve efficient use and development of natural and physical resources; and will maintain and enhance amenity values and the quality of the environment. There are no other matters stated in section 7 which are of any particular relevance to the current application.

103. There are no matters of national importance stated in section 6 which are of any particular relevance to the application.

104. Section 5 sets out the purpose of the Act – to promote the sustainable management of natural and physical resources. Taking into account the definition of sustainable management contained in section 5(2), the Commission is satisfied that the application will achieve the purpose of the Act.

105. Sustainable management means managing the use, development and protection of natural and physical resources within certain parameters. The physical resources of this site will be developed in such a way that the social and economic wellbeing of the applicant is provided for, while the potential of natural and physical resources will be sustained to meet the reasonably foreseeable needs of future generations. The life-supporting capacity of ecosystems will not be compromised and any adverse effects of the activity can be avoided, remedied or mitigated by adherence to appropriate conditions of consent.

G. OUTCOME

106. Section 104 of the Act directs that when considering an application for resource consent and any submission received in response to it, the Commission must, subject to Part 2, have regard to the actual and potential effects on the environment of allowing the activity together with the relevant provisions of the Operative District Plan and of the Proposed District Plan. In the course of considering the application and the submissions and in reaching this decision the Commission has followed this process. Under section 104B the Commission has discretion to grant consent to the application and the Commission hereby does so subject to the imposition of conditions as attached in a Schedule to this decision.

This decision on RM 160487 is dated 27 January 2017.



W D Whitney
COMMISSIONER

For the Commission being WD Whitney and D Clarke

SCHEDULE : CONDITIONS OF LAND USE CONSENT FOR RM 160487 : WOODLOT PROPERTIES LIMITED

LAND USE

General Conditions

1. The development must be undertaken/carried out in accordance with the plans:
 - 'Site Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 00
 - 'Lot 1 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 01
 - 'Lot 1 – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 02
 - 'Lot 1 – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 03
 - 'Lot 2 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 04
 - 'Lot 2 – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 05
 - 'Lot 2 – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 06
 - 'Lot 4 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 10
 - 'Lot 4 – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 11
 - 'Lot 4 – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 12
 - 'Lot 5 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 13
 - 'Lot 5 – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 14
 - 'Lot 5 – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 15
 - 'Lot 6 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 16
 - 'Lot 4 [sic] - (Corrected to Lot 6) – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 17
 - 'Lot 4 [sic] - (Corrected to Lot 6) – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 18
 - 'Lot 7 - Floorplan Layout', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 19
 - 'Lot 7 – Elevations Sheet 1 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 20
 - 'Lot 7 – Elevations Sheet 2 of 2', by Fat Hippo Design Group Ltd, Revision A, Drawing Number 21
 - Structural Landscape Plan, by Vivian + Espie Ref: 1016-SLP1 dated 30 November 2016

stamped as approved on 27 January 2017

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) of the Act.
3. The consent holder is liable for costs associated with the monitoring of this resource consent under section 35 of the Resource Management Act 1991 and shall pay to Council an initial fee of \$145. This initial fee has been set under section 36(1) of the Act.

Landscaping

4. The approved Structural Landscape Plan shall be implemented within the first planting season following occupation of a dwelling on any allotment where such landscaping is located. If any plant or tree provided for on the approved Structural Landscape Plan should die or become diseased it shall be replaced in the next available planting season.

Engineering

General

5. All engineering works shall be carried out in accordance with the Queenstown Lakes District Council's policies and standards, being QLDC's Land Development and Subdivision Code of Practice adopted on 3 June 2015 and subsequent amendments to that document up to the date of issue of any resource consent.

Note: The current standards are available on Council's website via the following link:
<http://www.qldc.govt.nz/planning/resource-consents/qldc-land-development-and-subdivision-code-of-practice/>

To be completed prior to the commencement of any works on-site

6. The owner of the land being developed shall provide a letter to the Principal Resource Management Engineer at Council advising who their representative is for the design and execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.
7. Prior to commencing works on site, the consent holder shall submit a Traffic Management Plan to the Road Corridor Engineer at Council for approval. The Traffic Management Plan shall be prepared by a Site Traffic Management Supervisor (STMS). All contractors obligated to implement temporary traffic management plans shall employ a qualified STMS on site. The STMS shall implement the Traffic Management Plan. A copy of the approved plan shall be submitted to the Principal Resource Management Engineer at Council prior to works commencing.
8. Prior to the commencement of any works on the land being developed the consent holder shall provide to the Queenstown Lakes District Council for review and certification, copies of design certificates in the form of Schedule 1A of QLDC's Land Development and Subdivision Code of Practice, specifications, calculations and design plans as is considered by Council to be both necessary and adequate, in accordance with Condition 5, to detail the following engineering works required:

- a) The provision of a water supply to each residential dwelling (Lots 1, 2 & 4-7) in terms of Council's standards and connection policy. This shall include an Acuflo CM2000 as the toby valve and an approved water meter as detailed in QLDC Water Meter Policy (Appendix A), dated August 2015. The costs of the connections shall be borne by the consent holder.
 - b) The provision of a foul sewer connection from each residential dwelling (Lots 1, 2 & 4-7) to Council's reticulated sewerage system in accordance with Council's standards and connection policy, which shall be able to drain the buildable area within each lot. This shall include an inspection chamber/rodding eye at the junction of the laterals for any lots, if any. The costs of the connections shall be borne by the consent holder.
 - c) The provision of a connection from all potential impervious areas from each residential dwelling unit (Lots 1, 2 & 4-7) to the Council reticulated stormwater disposal system. The individual lateral connections shall be designed to provide gravity drainage for the entire area within each lot.
 - d) The provision of a sealed right of way servicing dwellings on proposed Lot 3, 4, 6 & 7 in accordance with Council's standards. Specifically this shall include:
 - i) A 5.5m sealed access width for the first 5m length of right of way from the lot boundary with the Erskine Street road reserve, and;
 - ii) The remaining length of right of way shall be formed to a 3.5m sealed width, and;
 - iii) The provision for stormwater disposal.
 - e) The provision of Design Certificates for all engineering works associated with this subdivision/development submitted by a suitably qualified design professional (for clarification this shall include all Roads, Water, Wastewater and Stormwater reticulation). The certificates shall be in the format of the QLDC's Land Development and Subdivision Code of Practice Schedule 1A Certificate.
9. The consent holder shall install measures to control and/or mitigate any dust, silt run-off and sedimentation that may occur, in accordance with QLDC's Land Development and Subdivision Code of Practice and 'A Guide to Earthworks in the Queenstown Lakes District' brochure, prepared by the Queenstown Lakes District Council. These measures shall be implemented prior to the commencement of any earthworks on site and shall remain in place for the duration of the project, until all exposed areas of earth are permanently stabilised.

To be monitored throughout earthworks

- 10. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
- 11. No earthworks, temporary or permanent, are to breach the boundaries of the site except for the access and infrastructure service connections.

On completion of earthworks and prior to constructing any dwelling

- 12. On completion of earthworks within the building footprint and prior to the construction of the dwellings on Lots 1, 2 & 4-7, the consent holder shall ensure that the foundations are designed by a suitably qualified engineer taking into consideration any areas of uncertified fill on-site and any areas that do not meet the NZS3604:2011 "good ground" definition.

To be completed prior to occupation of any dwellings

13. Prior to occupation of any dwellings, the consent holder shall complete the following:

- a) The submission of 'as-built' plans and information required to detail all engineering works completed in relation to or in association with this subdivision/development at the consent holder's cost. This information shall be formatted in accordance with Council's 'as-built' standards and shall include all Roads (including right of ways and access lots), Water, Wastewater and Stormwater reticulation (including private laterals and toby positions).
- b) The completion and implementation of all works detailed in Condition 8 above.
- c) The construction of a sealed vehicle crossing from Erskine Street servicing each dwelling/lot to Council's standards and as shown on the plan entitled "Lots 1-7 being a proposed subdivision of Lot 1 DP 337268" Revision D Drawing Number 01-01 dated 10 August 2016 submitted with the consent application and to Council's standards. Specifically this shall include:
 - i) A 5.5m wide sealed access for the right of way crossing point, and:
 - ii) Relocation of the existing Council street light to a new position outside of the right of way and as agreed with Council engineers.
 - iii) The vehicle crossing on Lot 2 being located at/near the northern lot boundary.
- d) The construction of sealed access and manoeuvring areas to each residential unit, in accordance with Council standards and as shown on "Fat Hippo Design Group, Site Layout, Revision A" submitted with the consent application.
- e) Any power supply and/or telecommunications connections to the dwelling shall be underground from existing reticulation and in accordance with any requirements/standards of the network provider's requirements.
- f) All earthworked/exposed areas shall be top-soiled and grassed/revegetated or otherwise permanently stabilised.
- g) The consent holder shall remedy any damage to all existing road surfaces and berms that result from work carried out for this consent.

Advice Notes:

- i. This consent triggers a requirement for Development Contributions, please see the attached information sheet for more details on when a development contribution is triggered and when it is payable. For further information please contact the DCN Officer at QLDC.
- ii. The consent holder is advised that any retaining walls, including stacked stone and gabion walls, proposed in this development which exceeds 1.5m in height or walls of any height bearing additional surcharge loads will require Building Consent, as they are not exempt under Schedule 1 of the Building Act 2004.
- iii. The consent holder is advised to obtain engineering signoff for the dwelling foundations on proposed Lot 3.
- iv. The consent holder is advised of their obligations under section 114 Building Act 2004 which requires the owner to give written notice to Council's Building Department of any subdivision of land which may affect buildings on the site. It is the consent holder's responsibility to ensure that the subdivision does not result in any non-compliances with the building regulations.

SUBDIVISION

General Conditions

1. The subdivision must be undertaken/carried out in accordance with the plan:
 - 'Lots 1 – 7 being a proposed subdivision of Lot 1 DP 337268', by Clark Fortune McDonald & Associates, Revision B, Drawing Number 01_01 dated 25 July 2016.

stamped as approved on 27 January 2017

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) of the Act.
3. All engineering works shall be carried out in accordance with the Queenstown Lakes District Council's policies and standards, being QLDC's Land Development and Subdivision Code of Practice adopted on 3 June 2015 and subsequent amendments to that document up to the date of issue of any resource consent.

Note: The current standards are available on Council's website via the following link:
<http://www.qldc.govt.nz/planning/resource-consents/qldc-land-development-and-subdivision-code-of-practice/>

To be completed prior to the commencement of any works on-site

4. The owner of the land being developed shall provide a letter to the Principal Resource Management Engineer at Council advising who their representative is for the design and execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.
5. Prior to commencing works on site, the consent holder shall submit a traffic management plan to the Road Corridor Engineer at Council for approval. The Traffic Management Plan shall be prepared by a Site Traffic Management Supervisor (STMS). All contractors obligated to implement temporary traffic management plans shall employ a qualified STMS on site. The STMS shall implement the Traffic Management Plan. A copy of the approved plan shall be submitted to the Principal Resource Management Engineer at Council prior to works commencing.
6. Prior to the commencement of any works on the land being developed the consent holder shall provide to the Queenstown Lakes District Council for review and certification, copies of design certificates in the form of Schedule 1A of QLDC's Land Development and Subdivision Code of Practice, specifications, calculations and design plans as is considered by Council to be both necessary and adequate, in accordance with Condition 3, to detail the following engineering works required:
 - a) The provision of a water supply to Lots 1-7 in terms of Council's standards and connection policy. This shall include an Acuflo CM2000 as the toby valve and an approved water meter as detailed in QLDC Water Meter Policy (Appendix A), dated August 2015. The costs of the connections shall be borne by the consent holder.
 - b) The provision of a foul sewer connection from Lots 1-7 to Council's reticulated sewerage system in accordance with Council's standards and connection policy, which

shall be able to drain the buildable area within each lot. This shall include an inspection chamber/rodding eye at the junction of the laterals for any lots, if any. The costs of the connections shall be borne by the consent holder.

- c) The provision of a connection from all potential impervious areas within Lots 1-7 to the Council reticulated stormwater disposal system. The individual lateral connections shall be designed to provide gravity drainage for the entire area within each lot.
 - d) The provision of a sealed right of way servicing Lot 3, 4, 6 & 7 in accordance with Council's standards. Specifically this shall include:
 - i) A 5.5m sealed access width for the first 5m length of right of way from the lot boundary with the Erskine Street road reserve, and;
 - ii) The remaining length of right of way shall be formed to a 3.5m sealed width, and;
 - iii) The provision for stormwater disposal.
 - e) The provision of Design Certificates for all engineering works associated with this subdivision/development submitted by a suitably qualified design professional (for clarification this shall include all Roads, Water, Wastewater and Stormwater reticulation). The certificates shall be in the format of the QLDC's Land Development and Subdivision Code of Practice Schedule 1A Certificate.
7. The consent holder shall install measures to control and/or mitigate any dust, silt run-off and sedimentation that may occur, in accordance with QLDC's Land Development and Subdivision Code of Practice and 'A Guide to Earthworks in the Queenstown Lakes District' brochure, prepared by the Queenstown Lakes District Council. These measures shall be implemented prior to the commencement of any earthworks on site and shall remain in place for the duration of the project, until all exposed areas of earth are permanently stabilised.

To be monitored throughout earthworks

- 8. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
- 9. No earthworks, temporary or permanent, are to breach the boundaries of the site except for the access and infrastructure service connections.

To be completed before Council approval of the Survey Plan

- 10. Prior to the Council signing the Survey Plan pursuant to section 223 of the Resource Management Act 1991, the consent holder shall complete the following:
 - a) All necessary easements shall be shown in the Memorandum of Easements attached to the Survey Plan and shall be duly granted or reserved.

To be completed before issue of the s224(c) certificate

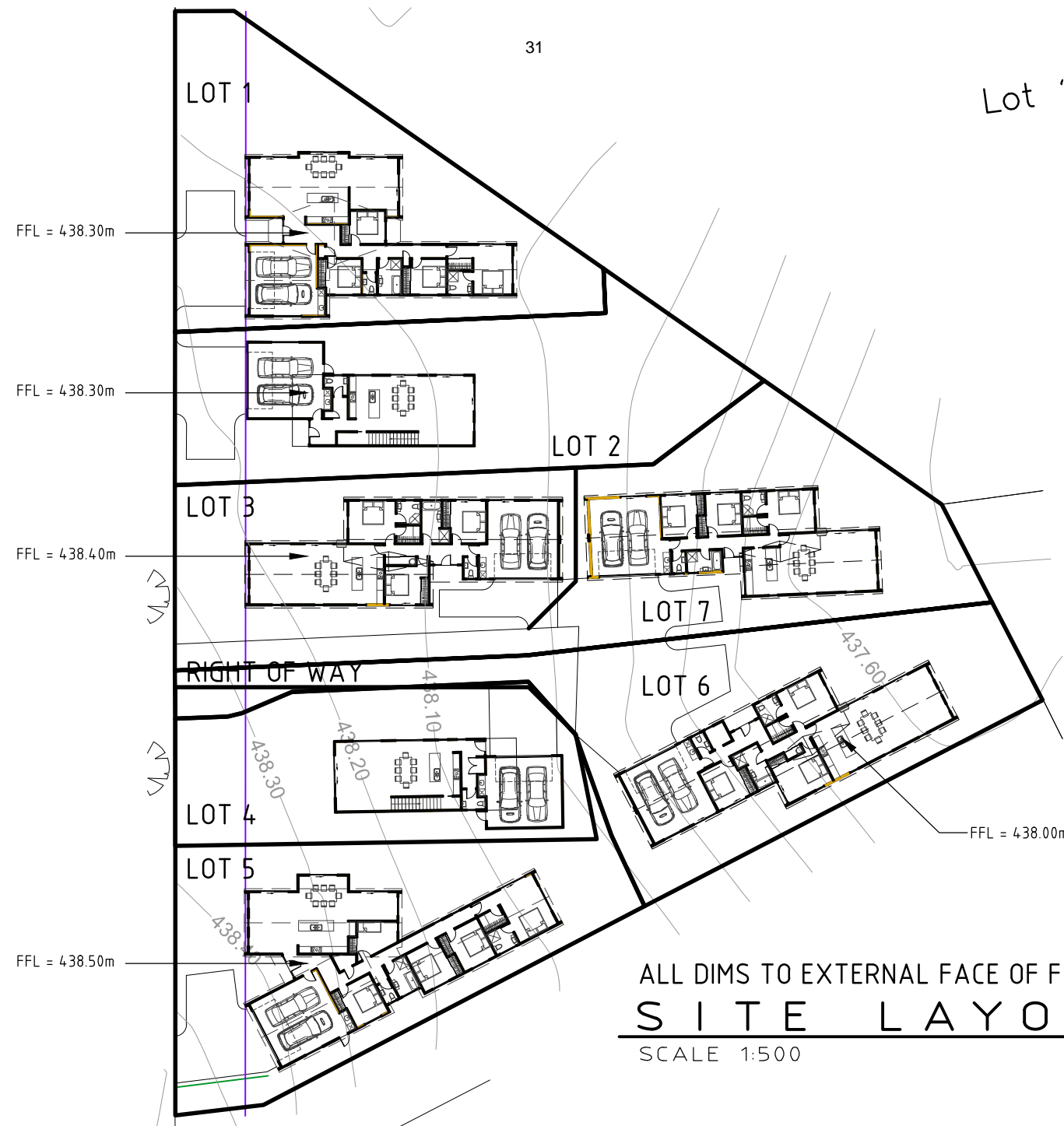
11. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the consent holder shall complete the following:
- a) The submission of 'as-built' plans and information required to detail all engineering works completed in relation to or in association with this subdivision/development at the consent holder's cost. This information shall be formatted in accordance with Council's 'as-built' standards and shall include all Roads (including right of ways and access lots), Water, Wastewater and Stormwater reticulation (including private laterals and toby positions).
 - b) The completion and implementation of all works detailed in Condition 6 above.
 - c) The construction of a sealed vehicle crossing to Lots 1, 2 & 5 and also to the shared Right of way servicing Lots 3, 4, 6 & 7. These access linkages onto Erskine Street shall be provided in the positions shown on the "Proposed Subdivision Plan, Revision D" submitted with the consent application and to Council's standards. Specifically this shall include:
 - i) A 5.5m wide sealed access for the right of way crossing point, and:
 - ii) Relocation of the existing Council street light to a new position outside of the right of way and as agreed with Council engineers.
 - iii) The vehicle crossing on Lot 2 being located at/near the northern lot boundary.
 - d) Written confirmation shall be provided from the electricity network supplier responsible for the area, that provision of an underground electricity supply has been made available (minimum supply of single phase 15kva capacity) to the net area of all saleable lots created and that all the network supplier's requirements for making such means of supply available have been met.
 - e) Written confirmation shall be provided from the telecommunications network supplier responsible for the area, that provision of underground telephone services has been made available to the net area of all saleable lots created and that all the network supplier's requirements for making such means of supply available have been met.
 - f) The submission of Completion Certificates from the Contractor and the Engineer advised in Condition 4 for all engineering works completed in relation to or in association with this subdivision/development (for clarification this shall include all Roads, Water, Wastewater and Stormwater reticulation). The certificates shall be in the format of a Producer Statement, or the QLDC's Land Development and Subdivision Code of Practice Schedule 1B and 1C Certificate.
 - g) All newly constructed foul sewer and stormwater mains shall be subject to a closed circuit television (CCTV) inspection carried out in accordance with the New Zealand Pipe Inspection Manual. A pan tilt camera shall be used and lateral connections shall be inspected from inside the main. The CCTV shall be completed and reviewed by Council before any surface sealing.
 - h) All earthworked/exposed areas shall be top-soiled and grassed/revegetated or otherwise permanently stabilised.
 - i) The consent holder shall remedy any damage to all existing road surfaces and berms that result from work carried out for this consent.

Ongoing Conditions/Consent Notices

12. The following conditions of the consent shall be complied with in perpetuity and shall be registered on the relevant Computer Freehold Registers by way of Consent Notice pursuant to section 221 of the Resource Management Act 1991.
 - a) At the time a dwelling is proposed on Lots 1 - 2 & Lots 4 - 7 the owner for the time shall engage a suitably qualified engineer to design the dwelling foundations in accordance with the OPUS International Limited, Geotechnical Report submitted with the RM160487 resource consent application. Specifically this shall make provision for all areas beneath the dwelling that do not meet the NZS3604:2011 definition of "good ground".
 - b) Fences along Erskine Street shall be restricted to post and rail no higher than 1.2 metres above ground level. If such a fence shall fall into disrepair then it shall be replaced in a manner which forms consistency between the driveway to 49 Erskine Street and the driveway to 45B Erskine Street.
 - c) Any fence or similar structure erected on the internal property boundaries of each lot shall be timber with a stain finish limited to muted earth tones. No fence shall exceed 1.2 metres in height within four metres from the property boundary adjoining Erskine Street.
 - d) Vehicular access to Lots 3 and 4 shall be achieved via the right of way shown on the survey plan and no vehicular access shall otherwise be achieved from Lot 3 and Lot 4 direct to Erskine Street.
 - e) The Structural Landscape Plan that has been approved in the land use consent RM 160478 shall be implemented within the first planting season following occupation of a dwelling on any allotment where such landscaping is located. If any plant or tree provided for on the approved Structural Landscape Plan should die or become diseased it shall be replaced in the next available planting season.

Advice Notes:

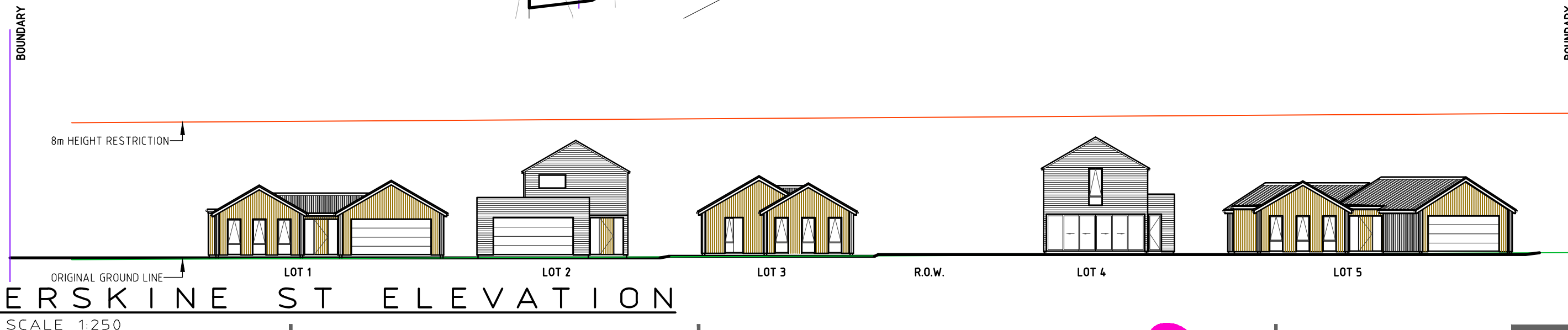
- i. This consent triggers a requirement for Development Contributions, please see the attached information sheet for more details on when a development contribution is triggered and when it is payable. For further information please contact the DCN Officer at QLDC.
- ii. The consent holder is advised to obtain engineering signoff for the dwelling foundations on proposed Lot 3.



QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



FAT HIPPO DESIGN GROUP LTD, LBP 100369
MARTIN GVARDIJANCIC | NATHAN SHEARING
20 FRANCE RD, OTATARA, RD9, INVERCARGILL, NZ
WWW.FATHIPPO.ORG | NATHAN@FATHIPPO.ORG
MOB 027 2131158 | PH 03 2131158

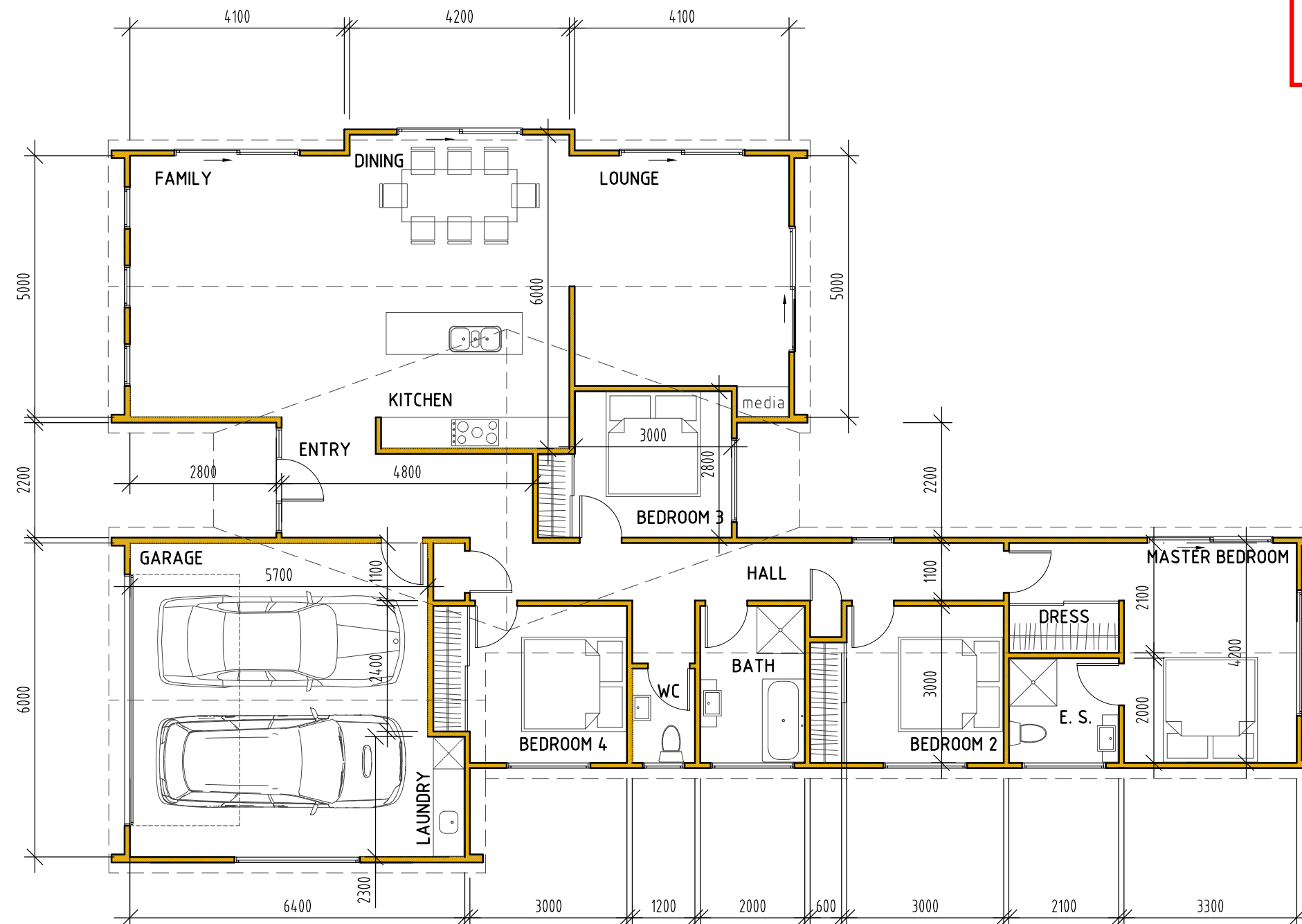
WOODLOT PROPERTIES
GLENDA DRIVE
QUEENSTOWN

PROPOSED NEW HOMES
47 ERSKINE ST, LAKE HAYES
SITE PLAN



FAT HIPPO
DESIGN GROUP LTD

A
REVISION
00
DRAWING NUMBER



AREA = 198.56 sq/m (INCLUDING GARAGE)

LAYOUT PLAN

SCALE 1:100

E2/AS1 RISK MATRIX

WIND ZONE	HIGH	1
No OF STOREYS	LOW	0
ROOF/WALL INTERSECTION	LOW	0
EAVES WIDTH	LOW	0
ENVELOPE COMPLEXITY	MEDIUM	1
DECK DESIGN	LOW	0
TOTAL		2

FLOOR PLAN NOTES

CA RATED DOWNLIGHTS TO BE USED AS STANDARD UNLESS ANOTHER LIGHT SOURCE IS SPECIFIED.

ALL LIGHTING IS TO COMPLY WITH NZBC D1 & G8.

ALL ELECTRICAL INSTALLATIONS TO BE IN ACCORDANCE WITH NZECP 51:2001.

ALL GLAZING TO COMPLY WITH NZS 4223.

ALL HARD FLOOR FINISHED TO COMPLY WITH NZBC D1/AS TABLE 2. FLOOR TILES TO BE NON-SLIP AND HAVE A SLIP COEFFICIENT VALUE OF 0.35-0.65 FOR GRIT FINISHED CERAMIC TILES.

FLOOR PLAN NOTES

MECHANICAL EXTRACTION IS REQUIRED TO TERMINATE TO EXTERNAL AIR SPACE THROUGH SOFFIT

ALL SMOKE ALARMS TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 P11

HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS 4305:1996. MAINS PRESSURE: Ø15mm ALLOWS 12m MAX PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.

ALL ROBE PANEL SLIDERS TO BE FULL HEIGHT. SHELF AND RAIL TO ROBES.

ARTIFICIAL ELECTRICAL LIGHTING SHALL BE PROVIDED TO ALL AREAS PROVIDING A MINIMUM OF 20 LUX IN ACCORDANCE WITH G8 OF THE NZBC

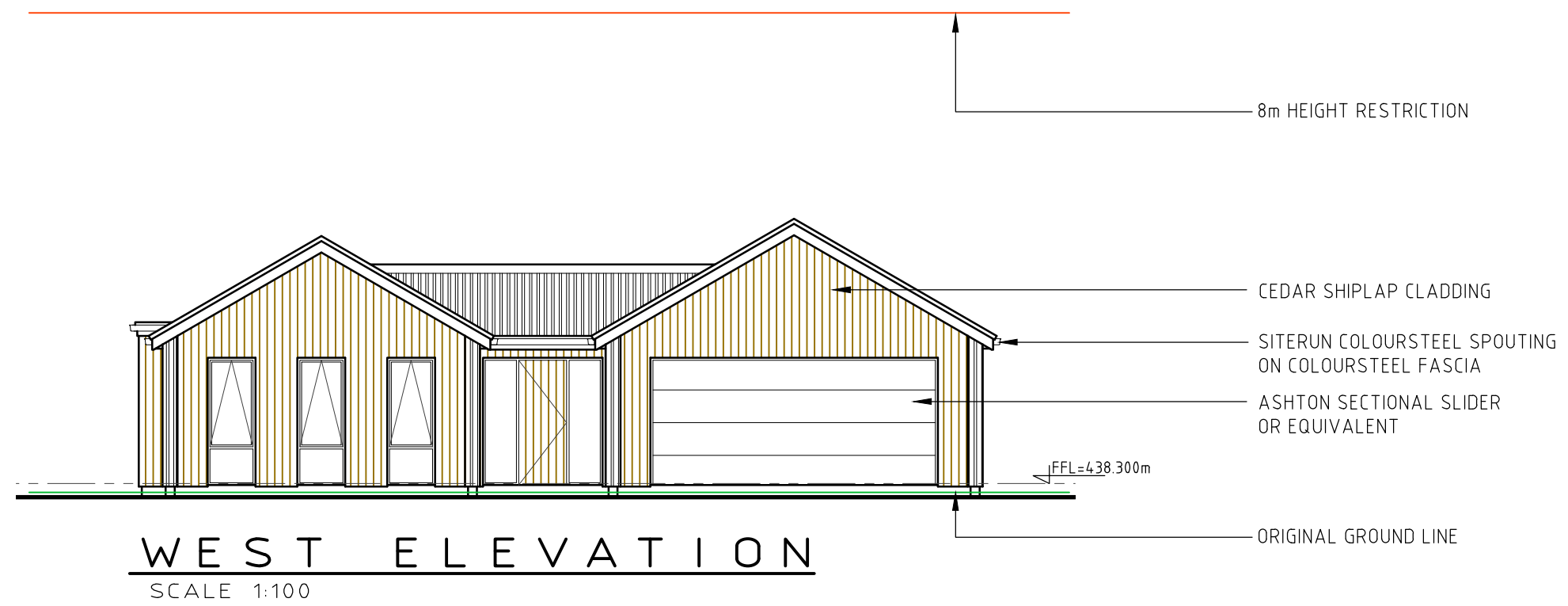
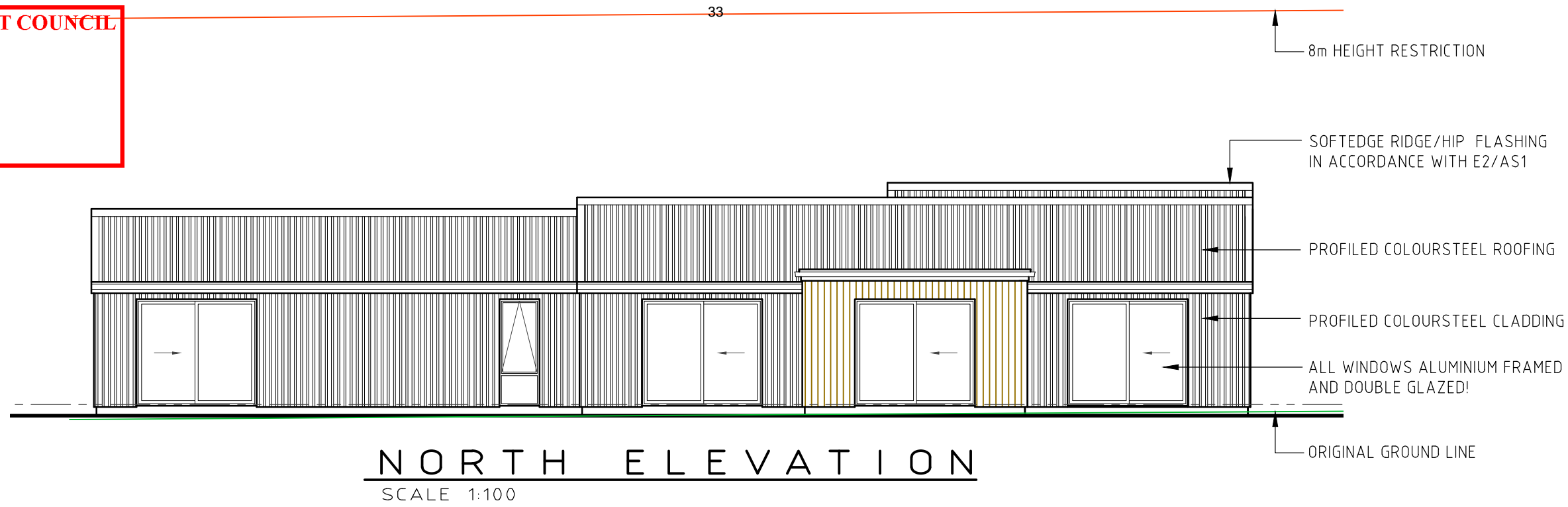
MATERIALS USED

FLOOR	REINFORCED CONCRETE SLAB
FRAMING	SG8 H1.2 RADIATA
ROOFING	PROFILED COLOURSTEEL
CLADDING	CEDAR SHIPLAP, W/BOARD
WALL INSULATION	R2.6 BATTS
ROOF INSULATION	R3.6 BATTS

LEGEND

	EXTERNAL WATER TAP
	SMOKE ALARM WITH HUSH
	HOT WATER CYLINDER (300L)





H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

ELEVATION NOTES

ALL WINDOWS TO BE DOUBLE GLAZED, R VALUE TO BE R0.26 UNLESS OTHERWISE NOTED
ALL WINDOW DIMENSIONS ARE OUTSIDE REVEL WITH BUILDER TO ALLOW FITTING TOLERANCE
ALL LINTELS ARE TO BE SG8 GRADE AND ARE DETERMINED BY THE ALLOWANCES OF
NZS 3604:2011 AS ALLOWED, BUT WHERE IMPOSED TRUSS LOADING OR SPAN EXCEEDS
THIS, TRUSS MANUFACTURERS' LINTELS SUPERSEDE THE INFORMATION GIVEN
⑤ DENOTES SAFETY GLAZING IN ACCORDANCE WITH NZS 4223

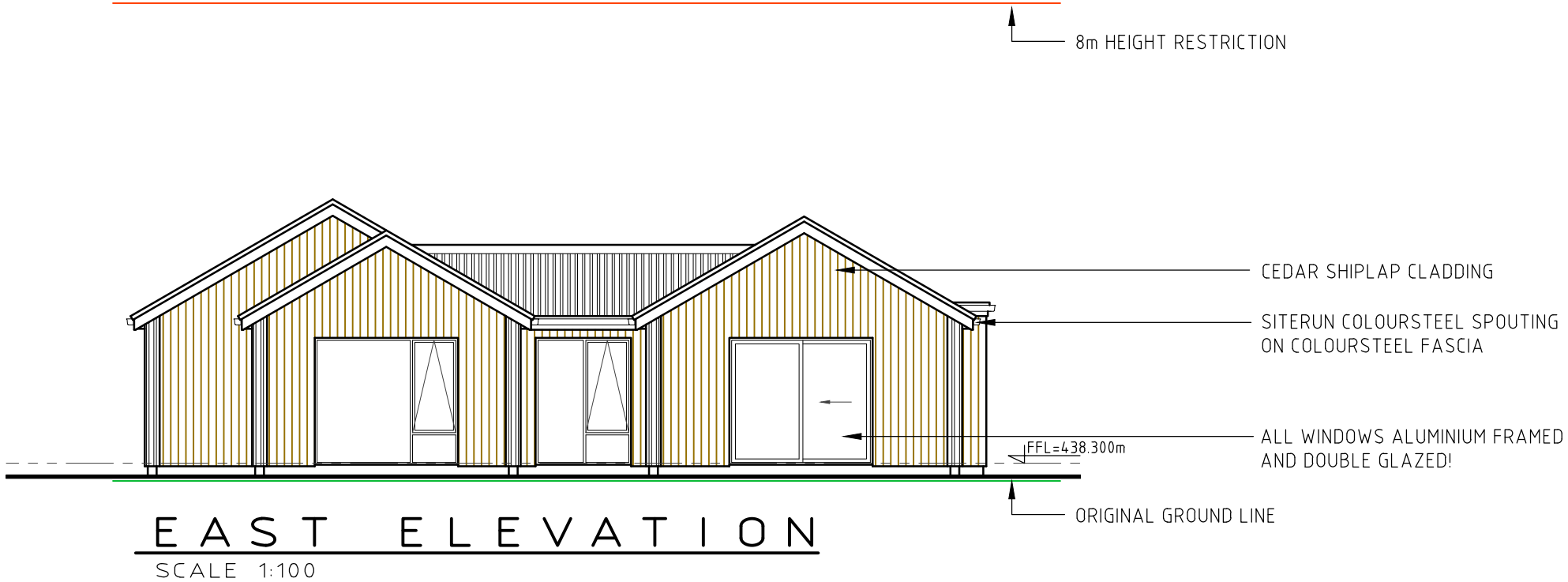
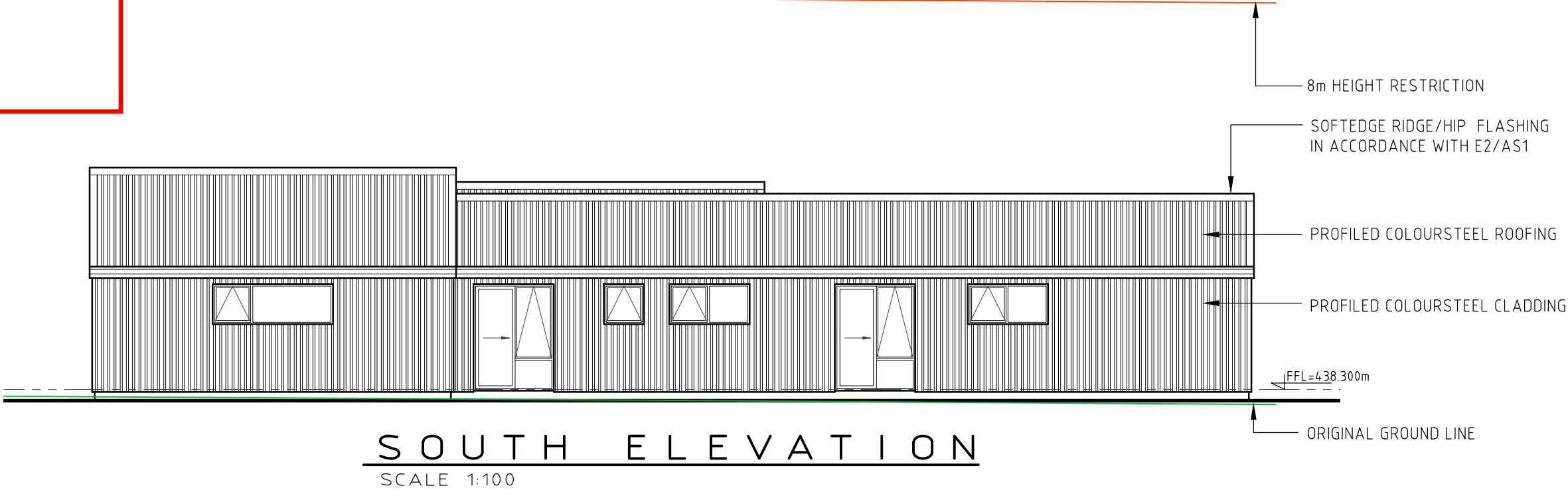
ELEVATION NOTES

ALL FIXINGS & FASTENINGS ARE TO BE IN ACCORDANCE WITH
DURABILITY REQUIREMENTS OF NZS3604:2011
EXPOSURE ZONE 1 HOT DIPPED GALV. AND ADDITIONAL PROTECTION
FIXINGS ARE REQUIRED IN EXPOSED AND RAIN WET LOCATIONS
ALL CLADDINGS MUST BE FIXED IN ACCORDANCE WITH
MANUFACTURERS' SPECIFICATIONS
'A GRADE' SAFETY GLASS TO ALL EXTERIOR WINDOWS AND
DOORS WITH GLAZING 1200mm IN HEIGHT OR GREATER
WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS



APPROVED PLAN:
RM160487

27 January 2017



H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

ELEVATION NOTES

ALL WINDOWS TO BE DOUBLE GLAZED, R VALUE TO BE R0.26 UNLESS OTHERWISE NOTED
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ALL LINTELS ARE TO BE SG8 GRADE AND ARE DETERMINED BY THE ALLOWANCES OF
NZS 3604:2011 AS ALLOWED, BUT WHERE IMPOSED TRUSS LOADING OR SPAN EXCEEDS
THIS, TRUSS MANUFACTURERS' LINTELS SUPERSEDE THE INFORMATION GIVEN
⑤ DENOTES SAFETY GLAZING IN ACCORDANCE WITH NZS 4223

ELEVATION NOTES

ALL FIXINGS & FASTENINGS ARE TO BE IN ACCORDANCE WITH
DURABILITY REQUIREMENTS OF NZS3604:2011
EXPOSURE ZONE 1 HOT DIPPED GALV. AND ADDITIONAL PROTECTION
FIXINGS ARE REQUIRED IN EXPOSED AND RAIN WET LOCATIONS
ALL CLADDINGS MUST BE FIXED IN ACCORDANCE WITH
MANUFACTURERS' SPECIFICATIONS
'A GRADE' SAFETY GLASS TO ALL EXTERIOR WINDOWS AND
DOORS WITH GLAZING 1200mm IN HEIGHT OR GREATER
WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS

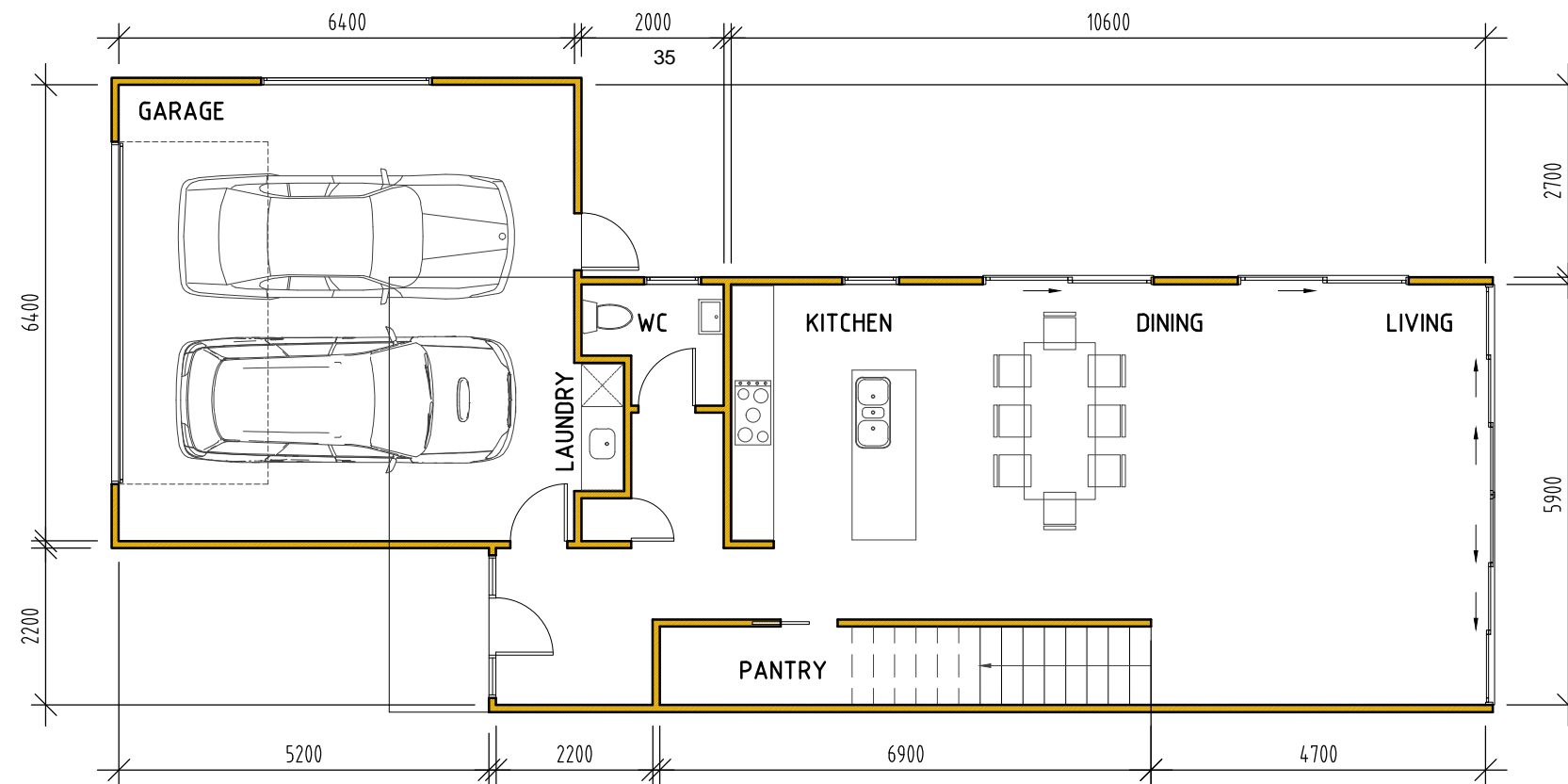




AREA = 124.63 sq/m (INCLUDING GARAGE)

GROUND FLOOR

SCALE 1:100



QUEENSTOWN LAKES DISTRICT COUNCIL

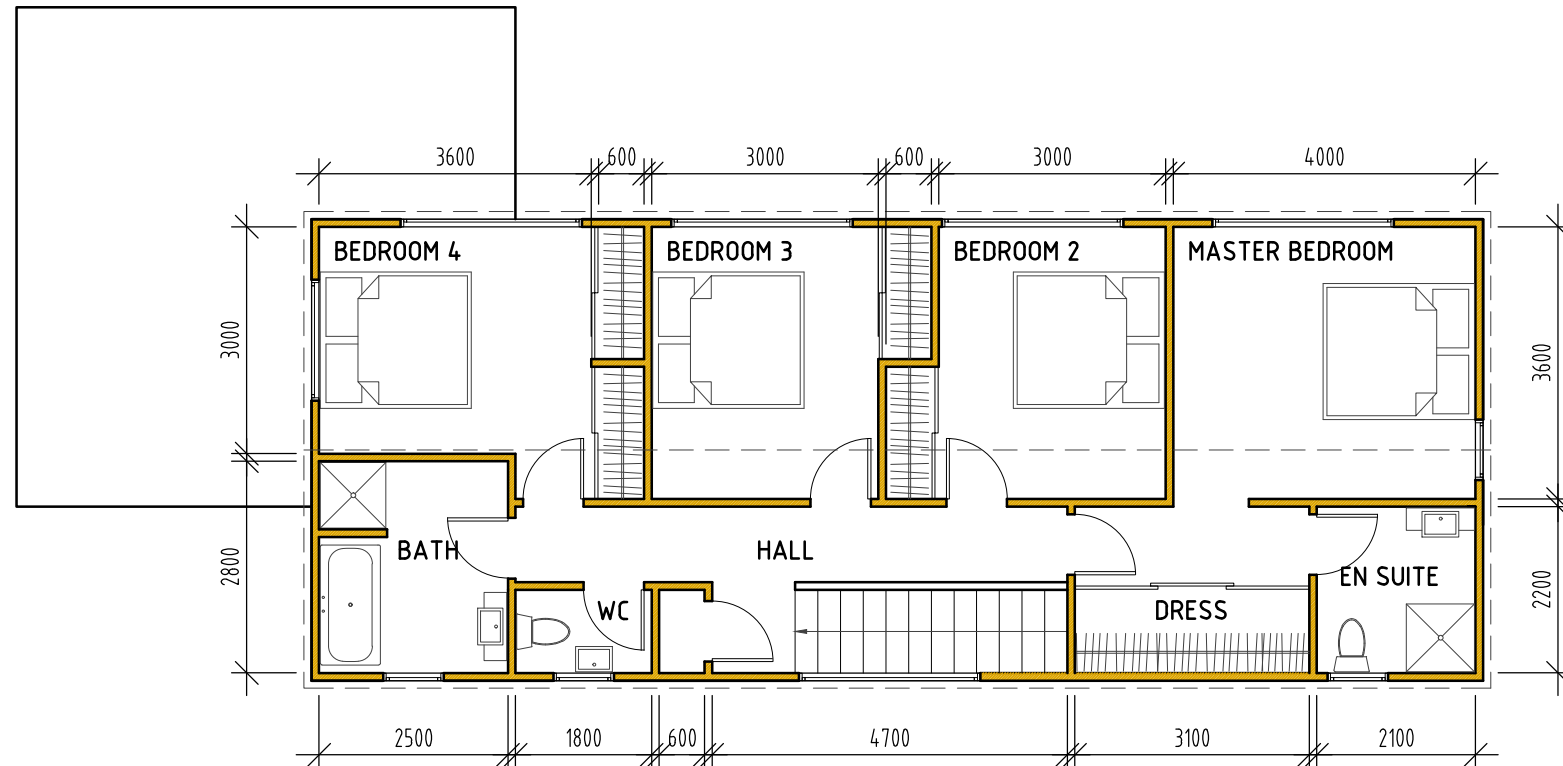
APPROVED PLAN:
RM160487

27 January 2017

AREA = 94.55 sq/m (INCLUDING STAIR VOID)

TOP FLOOR

SCALE 1:100



E2/AS1 RISK MATRIX

WIND ZONE	HIGH	1
No OF STOREYS	LOW	0
ROOF/WALL INTERSECTION	LOW	0
EAVES WIDTH	LOW	0
ENVELOPE COMPLEXITY	MEDIUM	1
DECK DESIGN	LOW	0
TOTAL		2

FLOOR PLAN NOTES

CA RATED DOWNLIGHTS TO BE USED AS STANDARD UNLESS ANOTHER LIGHT SOURCE IS SPECIFIED.

ALL LIGHTING IS TO COMPLY WITH NZBC D1 & G8.

ALL ELECTRICAL INSTALLATIONS TO BE IN ACCORDANCE WITH NZECP 51:2001.

ALL GLAZING TO COMPLY WITH NZS 4223.

ALL HARD FLOOR FINISHED TO COMPLY WITH NZBC D1/AS TABLE 2. FLOOR TILES TO BE NON-SLIP AND HAVE A SLIP COEFFICIENT VALUE OF 0.35-0.65 FOR GRIT FINISHED CERAMIC TILES.

FLOOR PLAN NOTES

MECHANICAL EXTRACTION IS REQUIRED TO TERMINATE TO EXTERNAL AIR SPACE THROUGH SOFFIT

ALL SMOKE ALARMS TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 Pt1

HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS 4305:1996. MAINS PRESSURE: Ø15mm ALLOWS 12m MAX PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.

ALL ROBE PANEL SLIDERS TO BE FULL HEIGHT. SHELF AND RAIL TO ROBES.

ARTIFICIAL ELECTRICAL LIGHTING SHALL BE PROVIDED TO ALL AREAS PROVIDING A MINIMUM OF 20 LUX IN ACCORDANCE WITH G8 OF THE NZBC

MATERIALS USED

FLOOR	REINFORCED CONCRETE SLAB
FRAMING	SG8 H1.2 RADIATA
ROOFING	PROFILED COLOURSTEEL
CLADDING	CEDAR SHIPLAP, W/BOARD
WALL INSULATION	R2.6 BATTS
ROOF INSULATION	R3.6 BATTS

LEGEND

+	EXTERNAL WATER TAP
SA	SMOKE ALARM WITH HUSH
○	HOT WATER CYLINDER (300L)

FAT HIPPO DESIGN GROUP LTD, LBP 100369
MARTIN GVARDIJANCIC | NATHAN SHEARING
20 FRANCE RD, OTATARA, RD9, INVERCARGILL, NZ
WWW.FATHIPPO.ORG | NATHAN@FATHIPPO.ORG
MOB 027 2131158 | PH 03 2131158

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WOODLOT PROPERTIES
GLENDA DRIVE
QUEENSTOWN

CLIENT

PROPOSED NEW HOMES
47 ERSKINE ST, LAKE HAYES
LOT 2 - FLOORPLAN LAYOUT

DRAWING TITLE



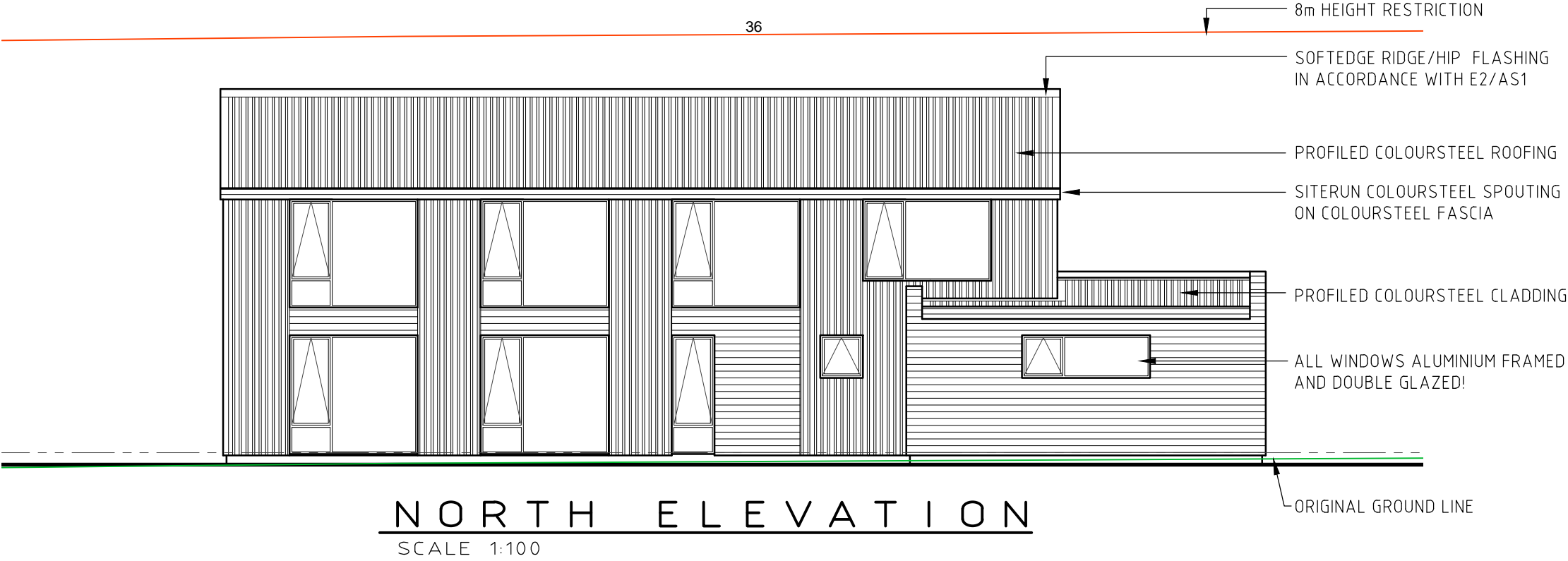
FAT HIPPO
DESIGN GROUP LTD

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REVISION

04

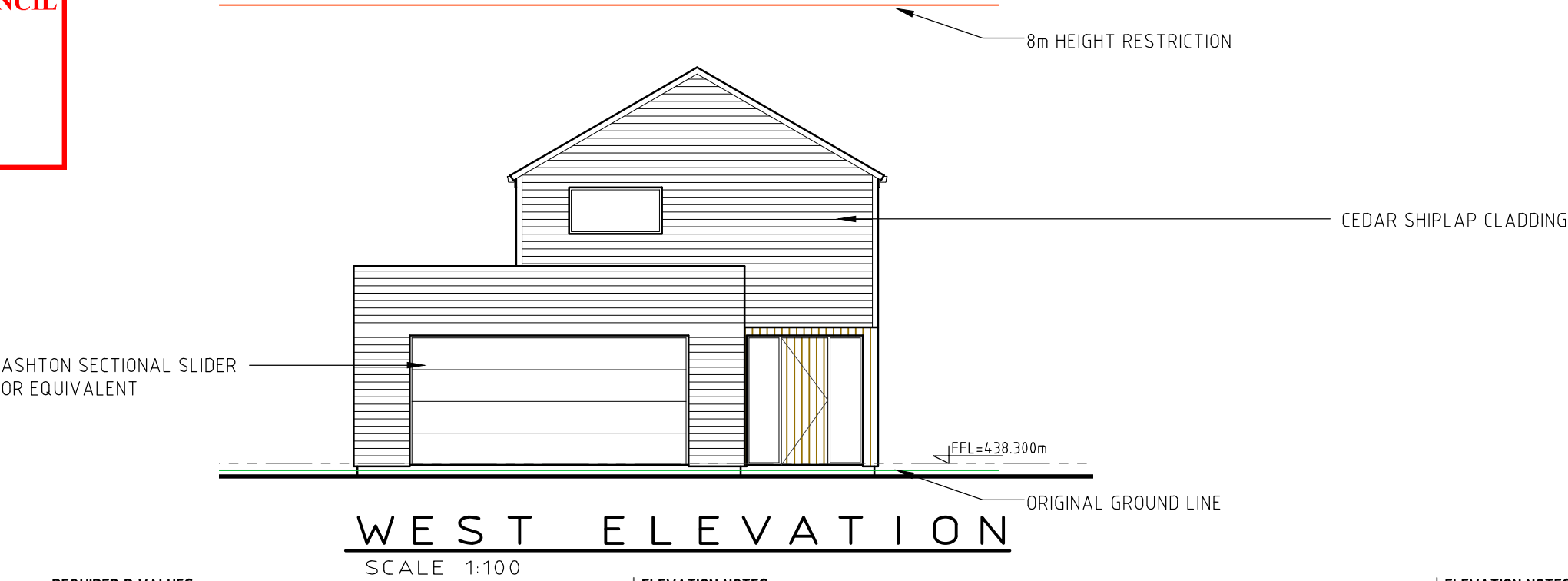
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QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

ELEVATION NOTES

ALL WINDOWS TO BE DOUBLE GLAZED, R VALUE TO BE R0.26 UNLESS OTHERWISE NOTED
ALL WINDOW DIMENSIONS ARE OUTSIDE REVEL WITH BUILDER TO ALLOW FITTING TOLERANCE
ALL LINTELS ARE TO BE SG8 GRADE AND ARE DETERMINED BY THE ALLOWANCES OF
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⑤ DENOTES SAFETY GLAZING IN ACCORDANCE WITH NZS 4223

ELEVATION NOTES

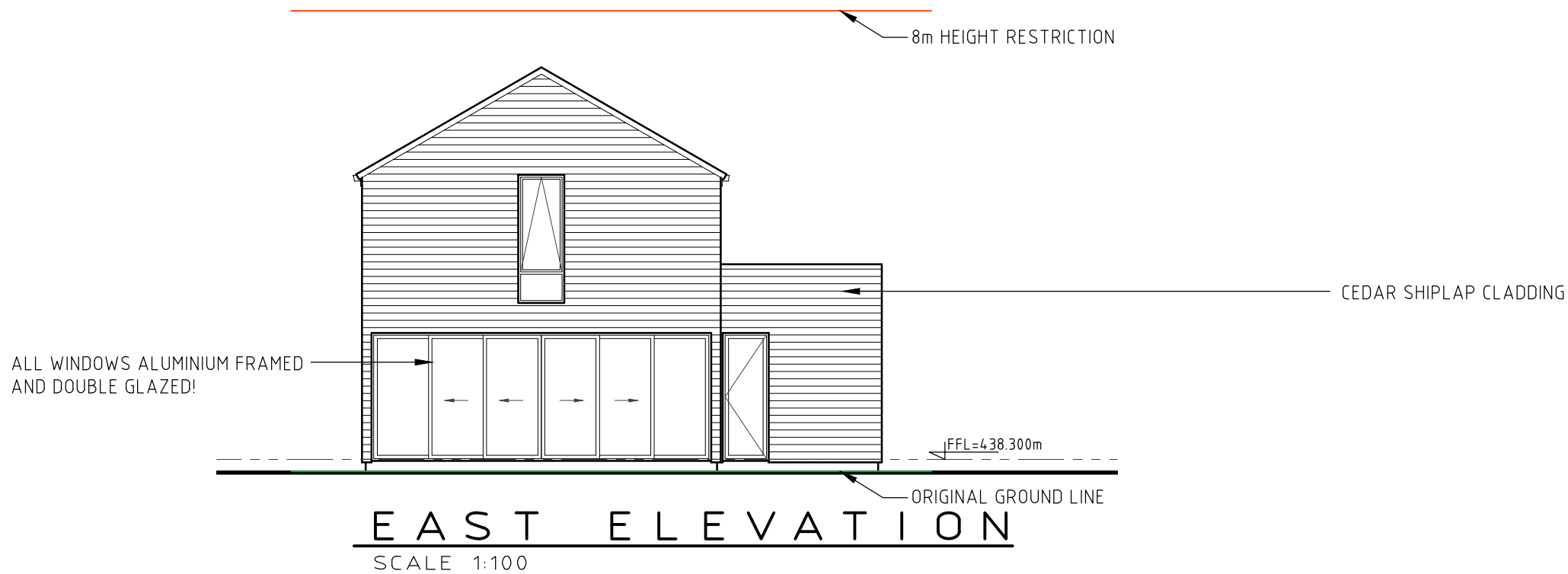
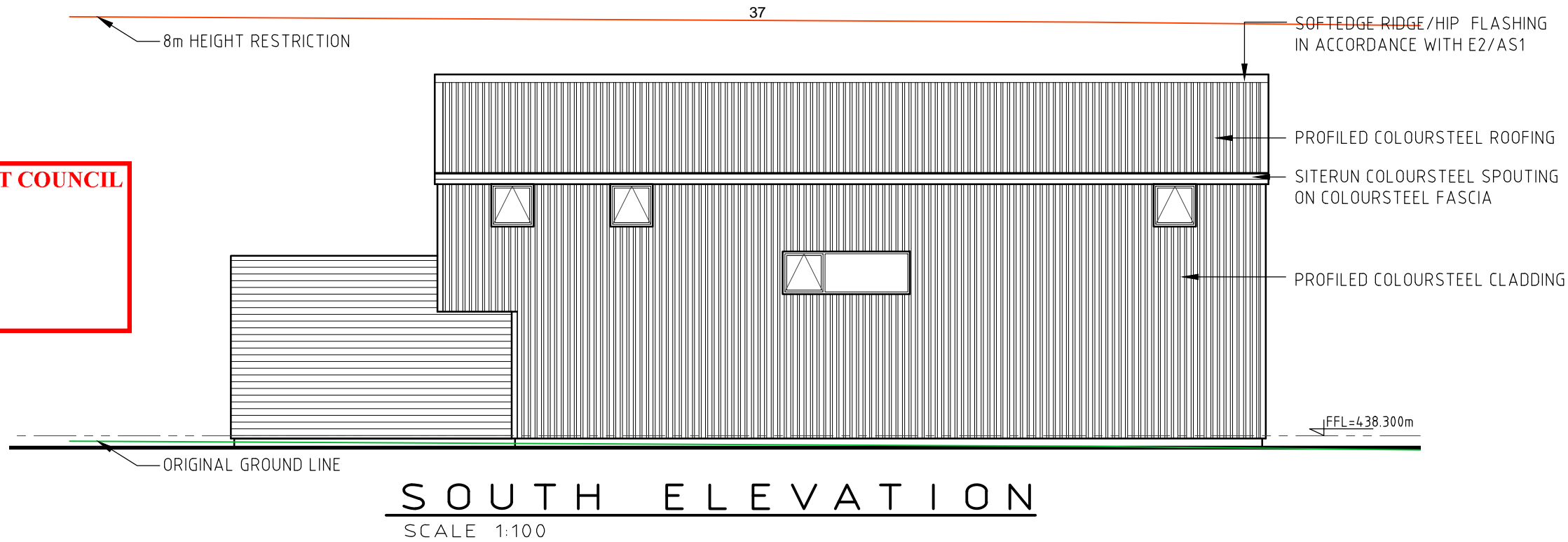
ALL FIXINGS & FASTENINGS ARE TO BE IN ACCORDANCE WITH DURABILITY REQUIREMENTS OF NZS3604:2011
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ALL CLADDINGS MUST BE FIXED IN ACCORDANCE WITH MANUFACTURERS' SPECIFICATIONS
'A GRADE' SAFETY GLASS TO ALL EXTERIOR WINDOWS AND DOORS WITH GLAZING 1200mm IN HEIGHT OR GREATER
WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS



QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

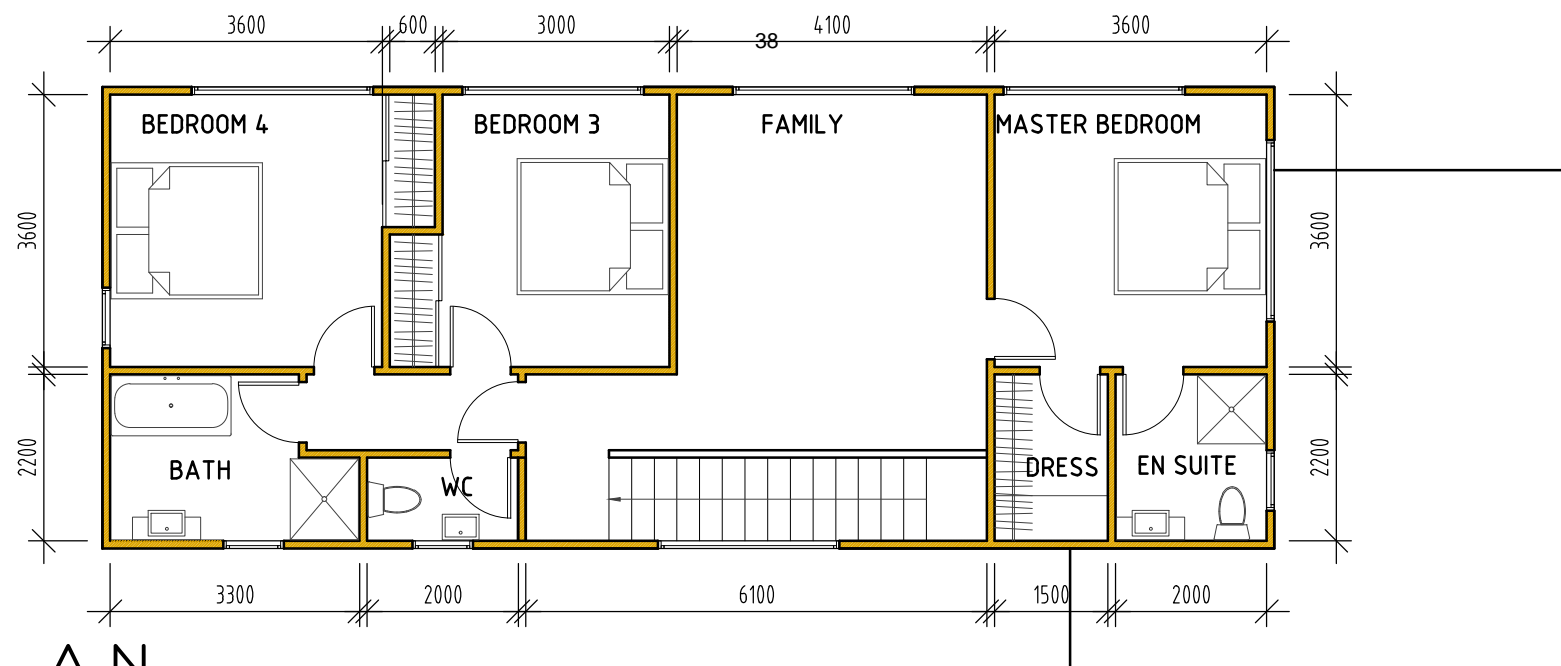
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AREA = 94.55 sq/m (INCLUDING STAIR VOID)

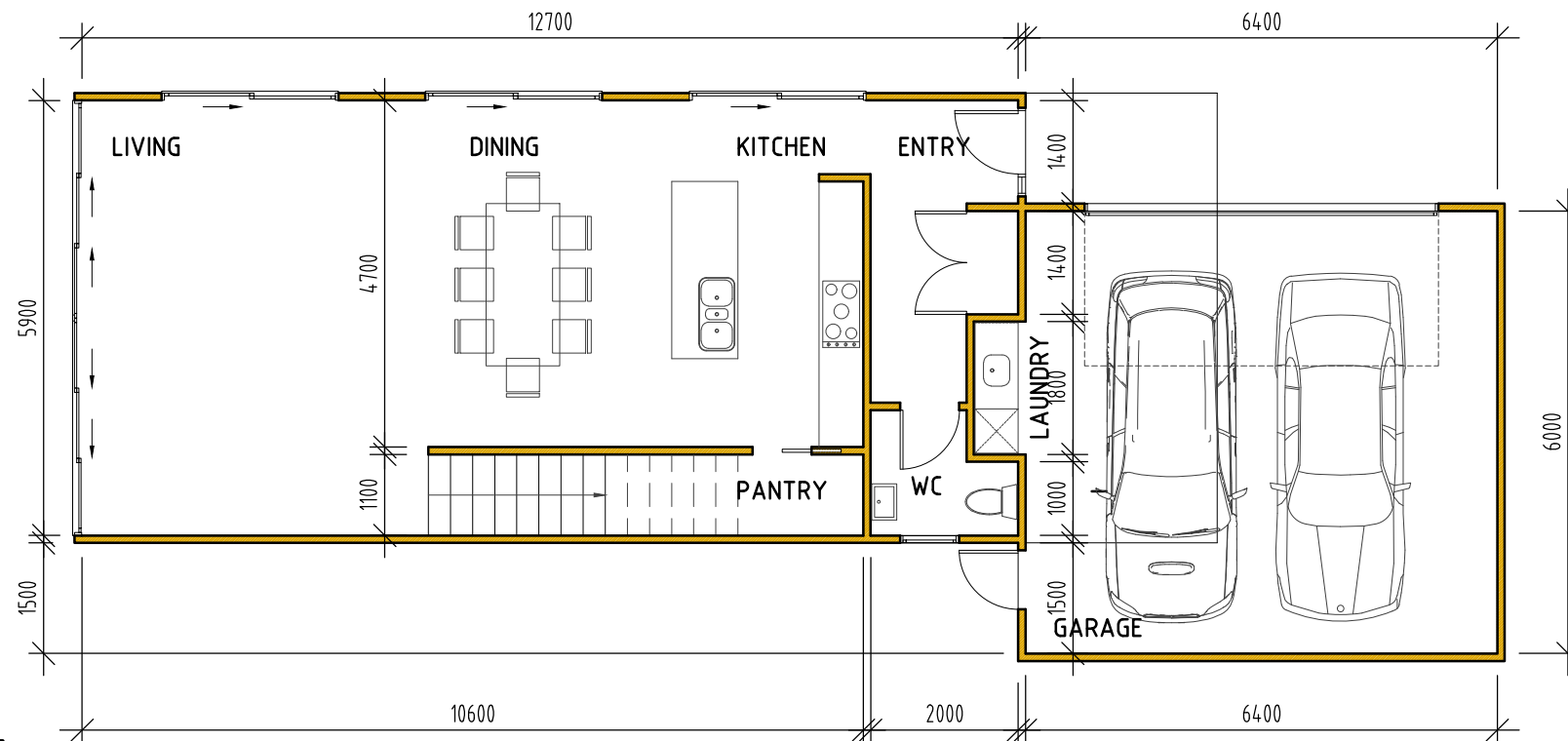
TOP FLOOR PLAN

SCALE 1:100

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



AREA = 119.15 sq/m (INCLUDING GARAGE)

GROUND FLOOR

SCALE 1:100

E2/AS1 RISK MATRIX

WIND ZONE	HIGH	1
No OF STOREYS	MEDIUM	1
ROOF/WALL INTERSECTION	V. HIGH	5
EAVES WIDTH	V. HIGH	5
ENVELOPE COMPLEXITY	MEDIUM	1
DECK DESIGN	LOW	0
TOTAL		13

FLOOR PLAN NOTES

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FLOOR PLAN NOTES

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MATERIALS USED

FLOOR	REINFORCED CONCRETE SLAB
FRAMING	SG8 H1.2 RADIATA
ROOFING	PROFIED COLOURSTEEL
CLADDING	CEDAR SHIPLAP, W/BOARD
WALL INSULATION	R2.6 BATTS
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LEGEND

+	EXTERNAL WATER TAP
SA	SMOKE ALARM WITH HUSH
○	HOT WATER CYLINDER (300L)

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WOODLOT PROPERTIES
GLENDA DRIVE
QUEENSTOWN

CLIENT

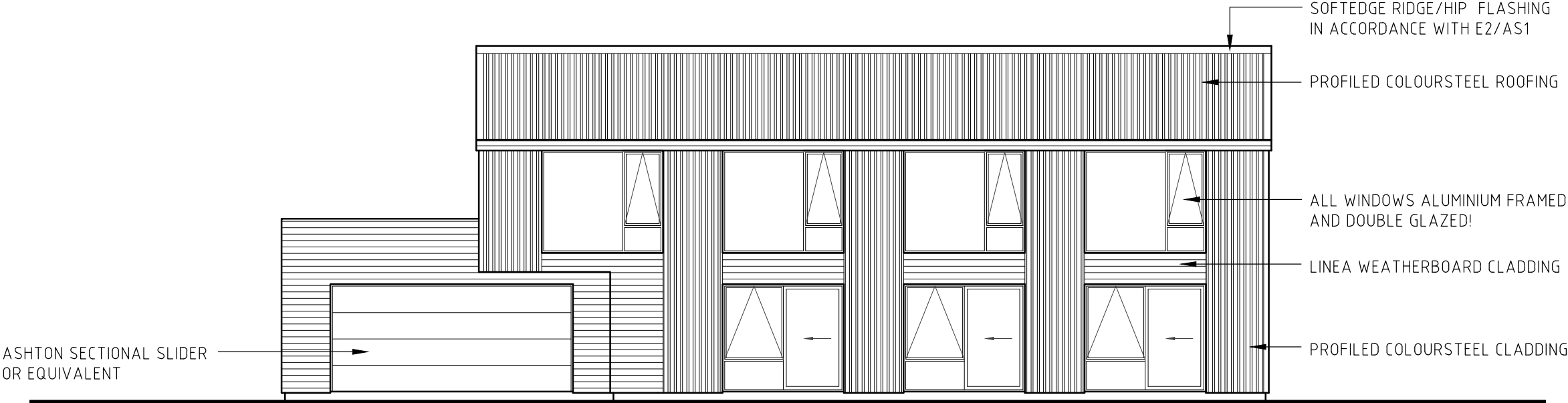
PROPOSED NEW HOMES
47 ERSKINE ST, LAKE HAYES
LOT 4 - FLOORPLAN LAYOUT

DRAWING TITLE



FAT HIPPO
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REVISION
10
DRAWING NUMBER



NORTH ELEVATION

SCALE 1:100

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



WEST ELEVATION

SCALE 1:100

H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

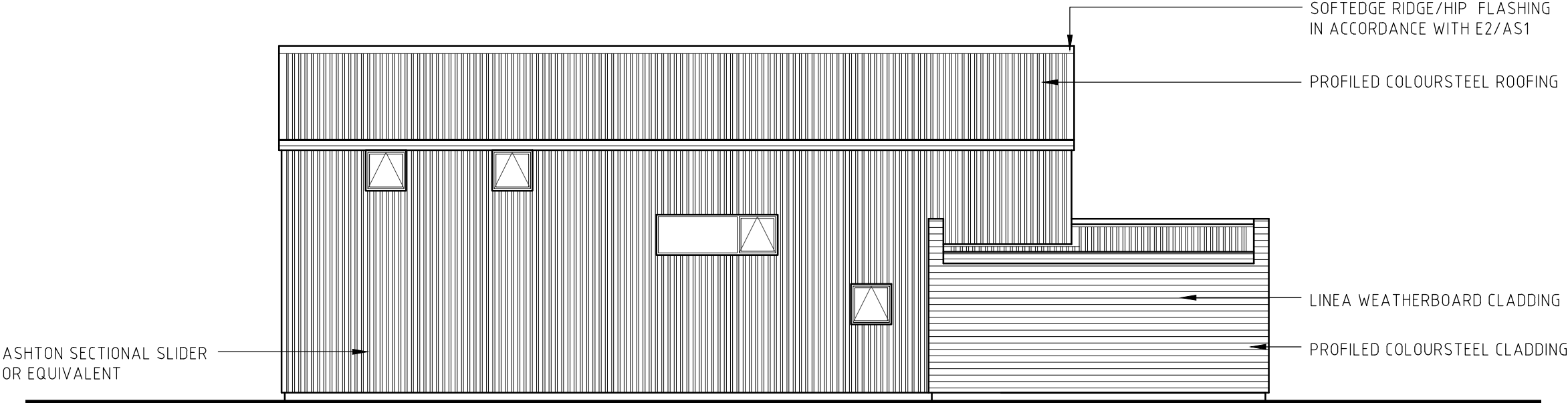
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WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS





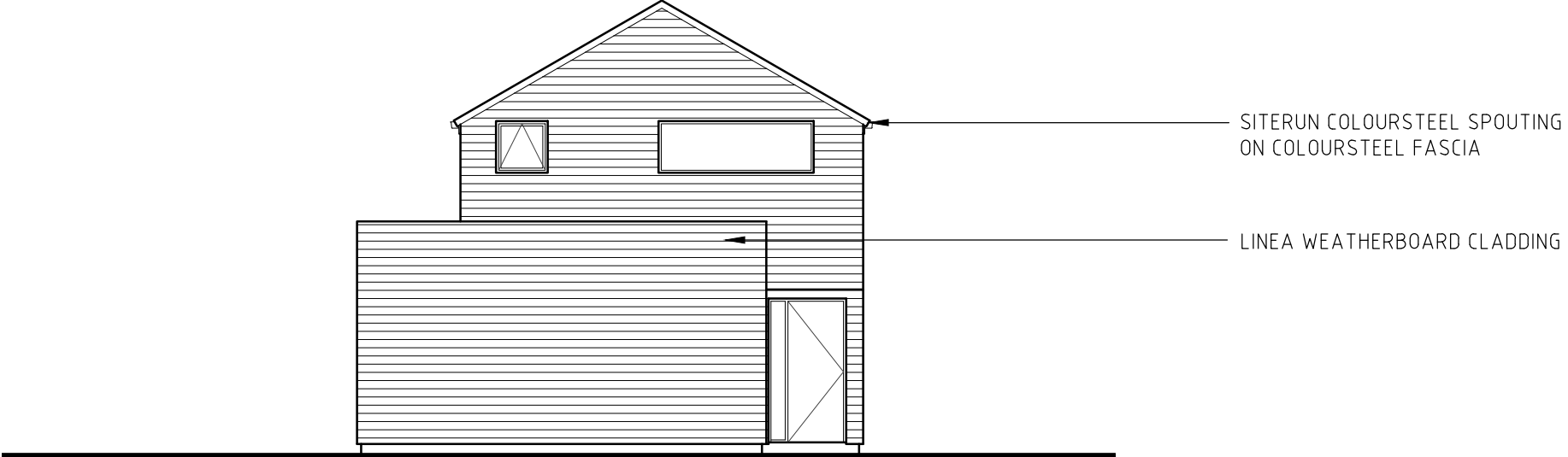
NORTH ELEVATION

SCALE 1:100

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



EAST ELEVATION

SCALE 1:100

H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

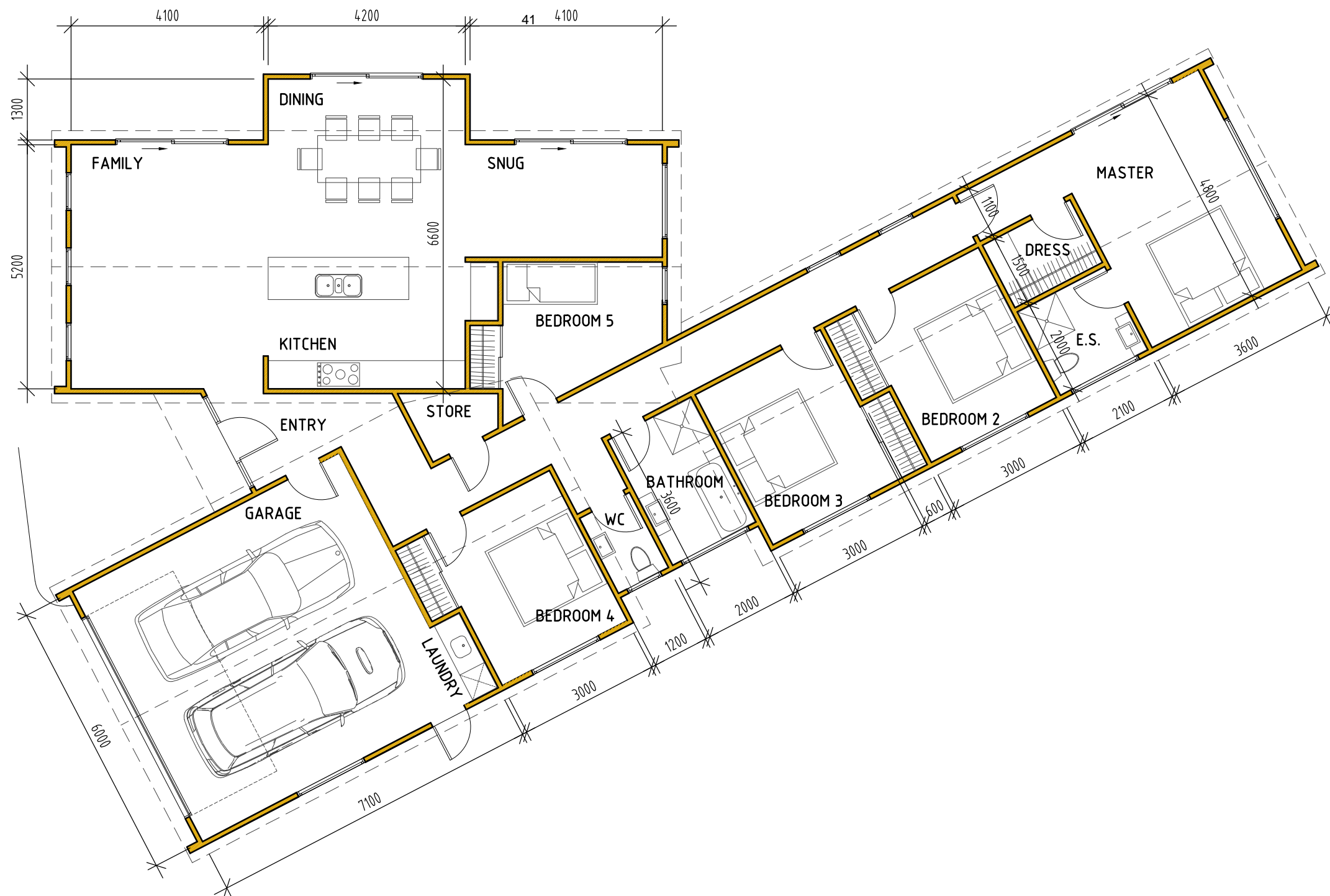
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QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017

AREA = 222.78 sq/m (INCLUDING GARAGE)

LAYOUT PLAN

SCALE 1:100

E2/AS1 RISK MATRIX			
WIND ZONE	HIGH	1	
No OF STOREYS	LOW	0	
ROOF/WALL INTERSECTION	LOW	0	
EAVES WIDTH	LOW	0	
ENVELOPE COMPLEXITY	MEDIUM	1	
DECK DESIGN	LOW	0	
TOTAL		2	

FLOOR PLAN NOTES

CA RATED DOWNLIGHTS TO BE USED AS STANDARD UNLESS ANOTHER LIGHT SOURCE IS SPECIFIED.

ALL LIGHTING IS TO COMPLY WITH NZBC D1 & G8.

ALL ELECTRICAL INSTALLATIONS TO BE IN ACCORDANCE WITH NZCEP 51:2001.

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FLOOR PLAN NOTES

MECHANICAL EXTRACTION IS REQUIRED TO TERMINATE TO EXTERNAL AIR SPACE THROUGH SOFFIT

ALL SMOKE ALARMS TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 Pt1

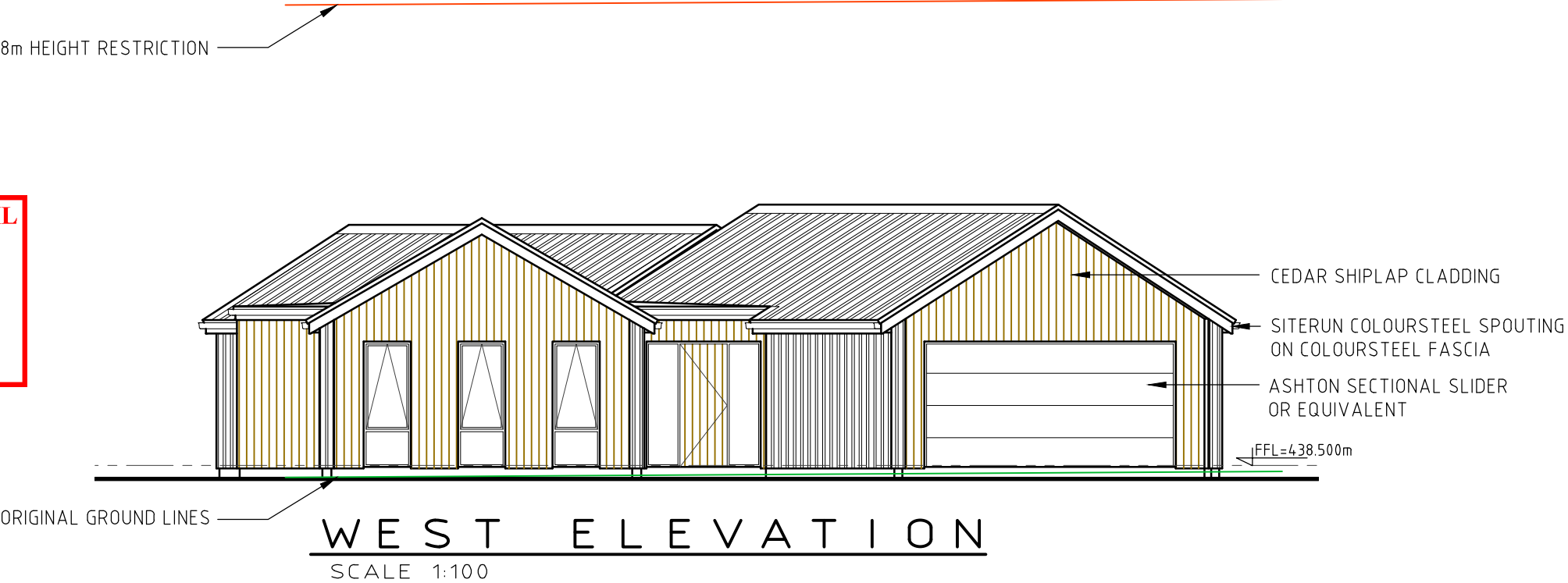
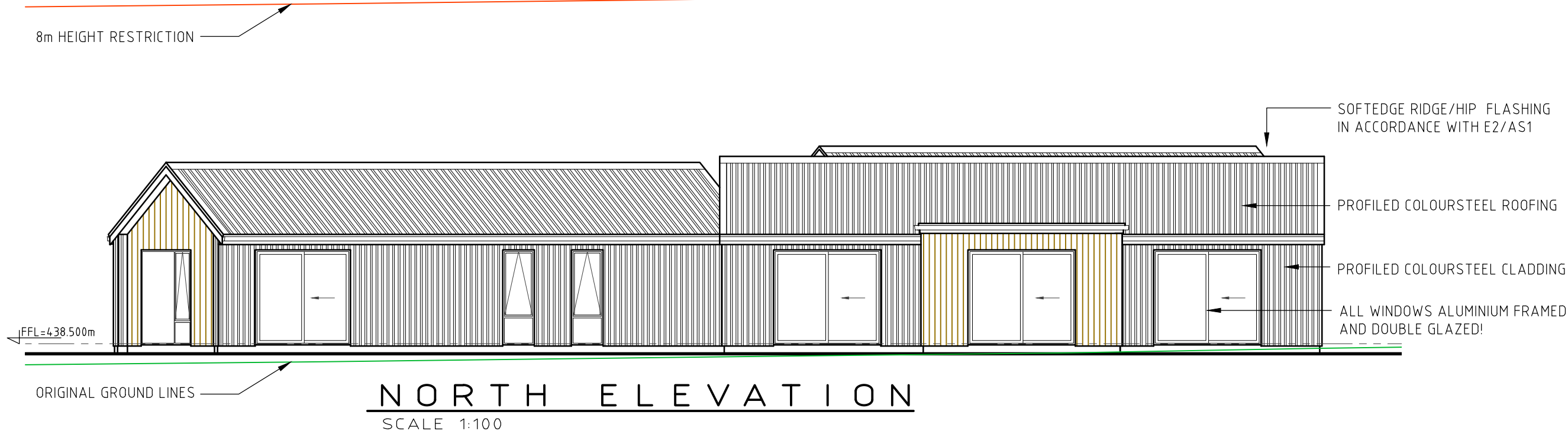
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ALL ROBE PANEL SLIDERS TO BE FULL HEIGHT. SHELF AND RAIL TO ROBES.

ARTIFICIAL ELECTRICAL LIGHTING SHALL BE PROVIDED TO ALL AREAS PROVIDING A MINIMUM OF 20 LUX IN ACCORDANCE WITH G8 OF THE NZBC

MATERIALS USED		LEGEND	
FLOOR	REINFORCED CONCRETE SLAB	+	EXTERNAL WATER TAP
FRAMING	SG8 H1.2 RADIATA	SA	SMOKE ALARM WITH HUSH
ROOFING	PROFILED COLOURSTEEL	○	HOT WATER CYLINDER (300L)
CLADDING	CEDAR SHIPLAP, W/BOARD		
WALL INSULATION	R2.6 BATTS		
ROOF INSULATION	R3.6 BATTS		





QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017

H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

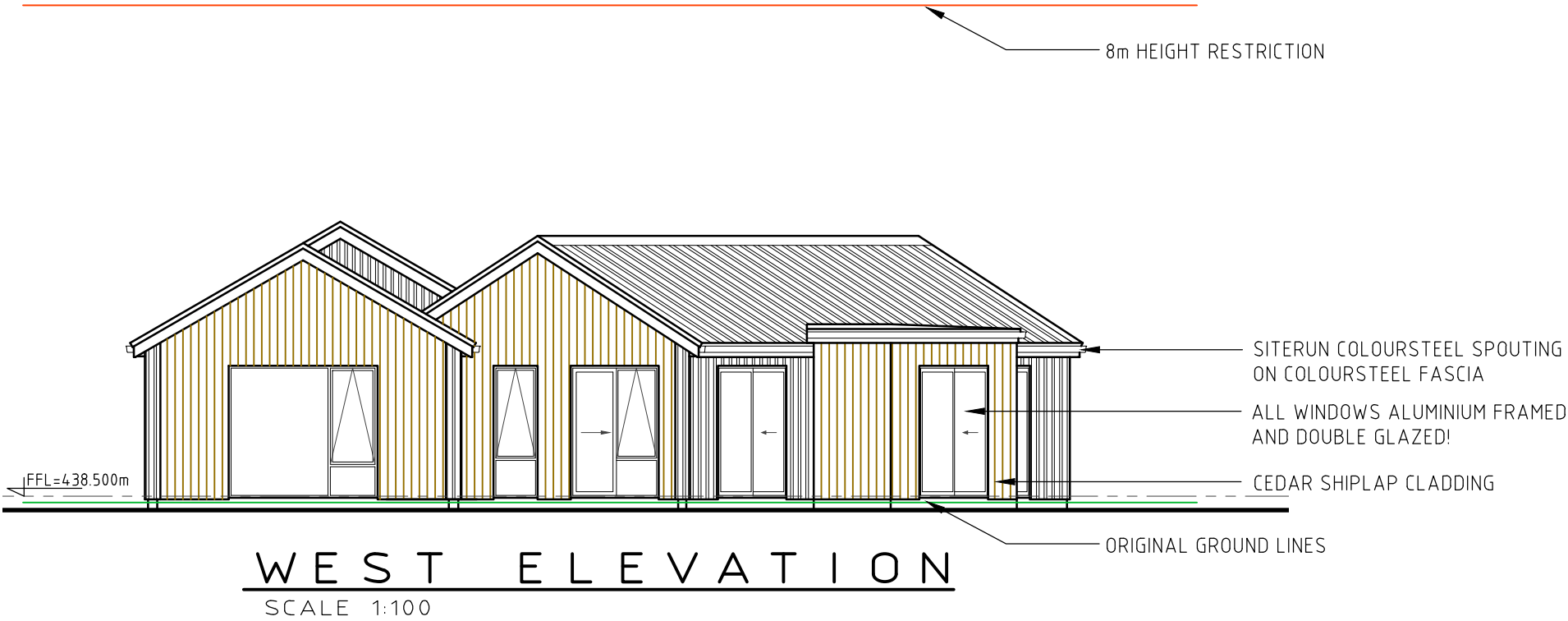
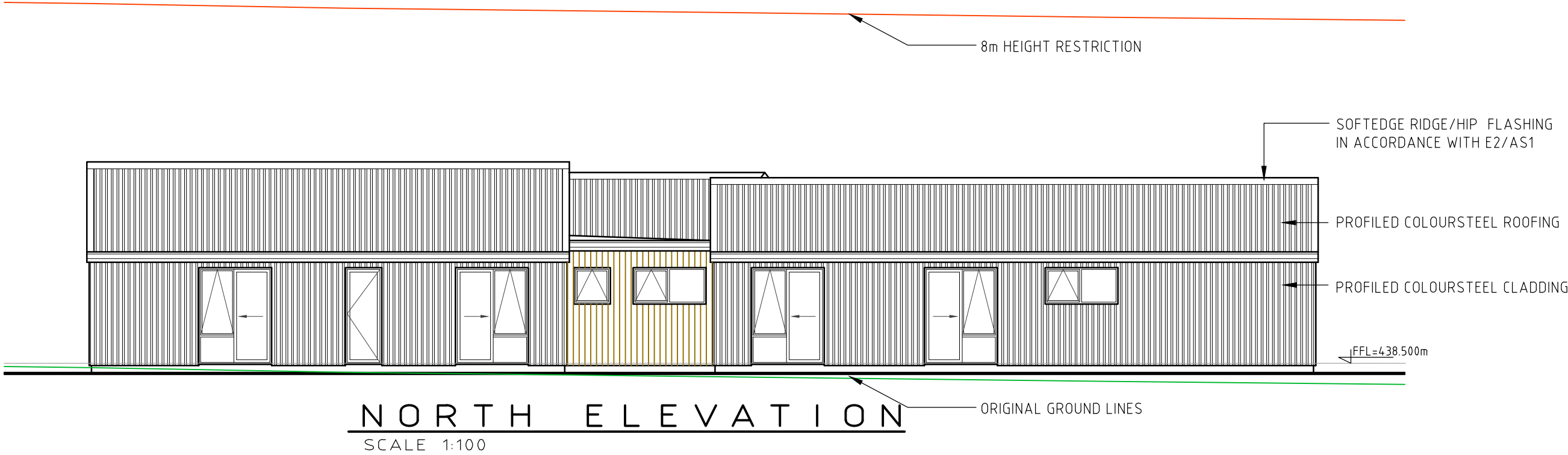
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ELEVATION NOTES

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'A GRADE' SAFETY GLASS TO ALL EXTERIOR WINDOWS AND DOORS WITH GLAZING 1200mm IN HEIGHT OR GREATER
WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS





H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
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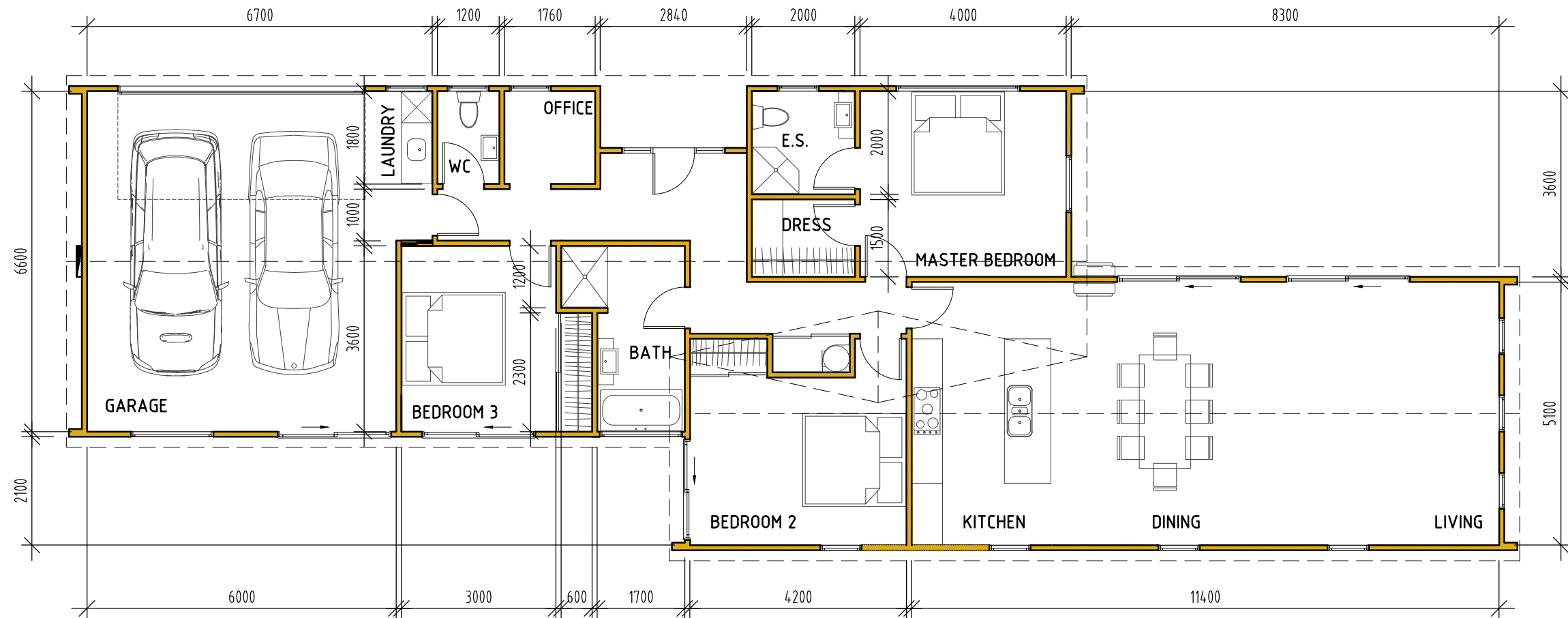


QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017

44



AREA = 188.40 sq/m (INCLUDING GARAGE)

FLOOR PLAN

SCALE 1:100

E2/AS1 RISK MATRIX

WIND ZONE	HIGH	1
No OF STOREYS	LOW	0
ROOF/WALL INTERSECTION	LOW	0
EAVES WIDTH	LOW	0
ENVELOPE COMPLEXITY	MEDIUM	1
DECK DESIGN	LOW	0
TOTAL		2

FLOOR PLAN NOTES

CA RATED DOWNLIGHTS TO BE USED AS STANDARD UNLESS ANOTHER LIGHT SOURCE IS SPECIFIED.
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FLOOR PLAN NOTES

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ARTIFICIAL ELECTRICAL LIGHTING SHALL BE PROVIDED TO ALL AREAS PROVIDING A MINIMUM OF 20 LUX IN ACCORDANCE WITH G8 OF THE NZBC

MATERIALS USED

FLOOR	REINFORCED CONCRETE SLAB
FRAMING	SG8 H1.2 RADIATA
ROOFING	PROFILED COLOURSTEEL
CLADDING	CEDAR SHIPLAP, W/BOARD
WALL INSULATION	R2.6 BATTS
ROOF INSULATION	R3.6 BATTS

LEGEND

+	EXTERNAL WATER TAP
SA	SMOKE ALARM WITH HUSH
○	HOT WATER CYLINDER (300L)

FAT HIPPO DESIGN GROUP LTD, LBP 100369
MARTIN GVARDIJANCIC | NATHAN SHEARING
20 FRANCE RD, OTATARA, RD9, INVERCARGILL, NZ
WWW.FATHIPPO.ORG | NATHAN@FATHIPPO.ORG
MOB 027 2131158 | PH 03 2131158

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WOODLOT PROPERTIES
GLENDA DRIVE
QUEENSTOWN

CLIENT

PROPOSED NEW HOMES
47 ERSKINE ST, LAKE HAYES
LOT 6 - FLOORPLAN LAYOUT

DRAWING TITLE



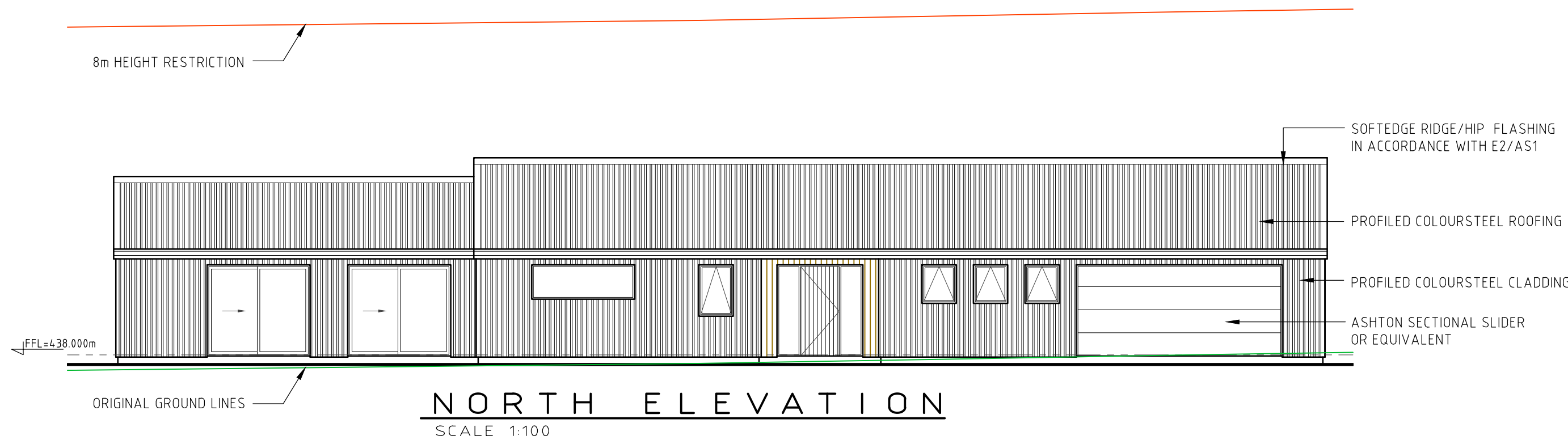
FAT HIPPO
DESIGN GROUP LTD

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REVISION

16

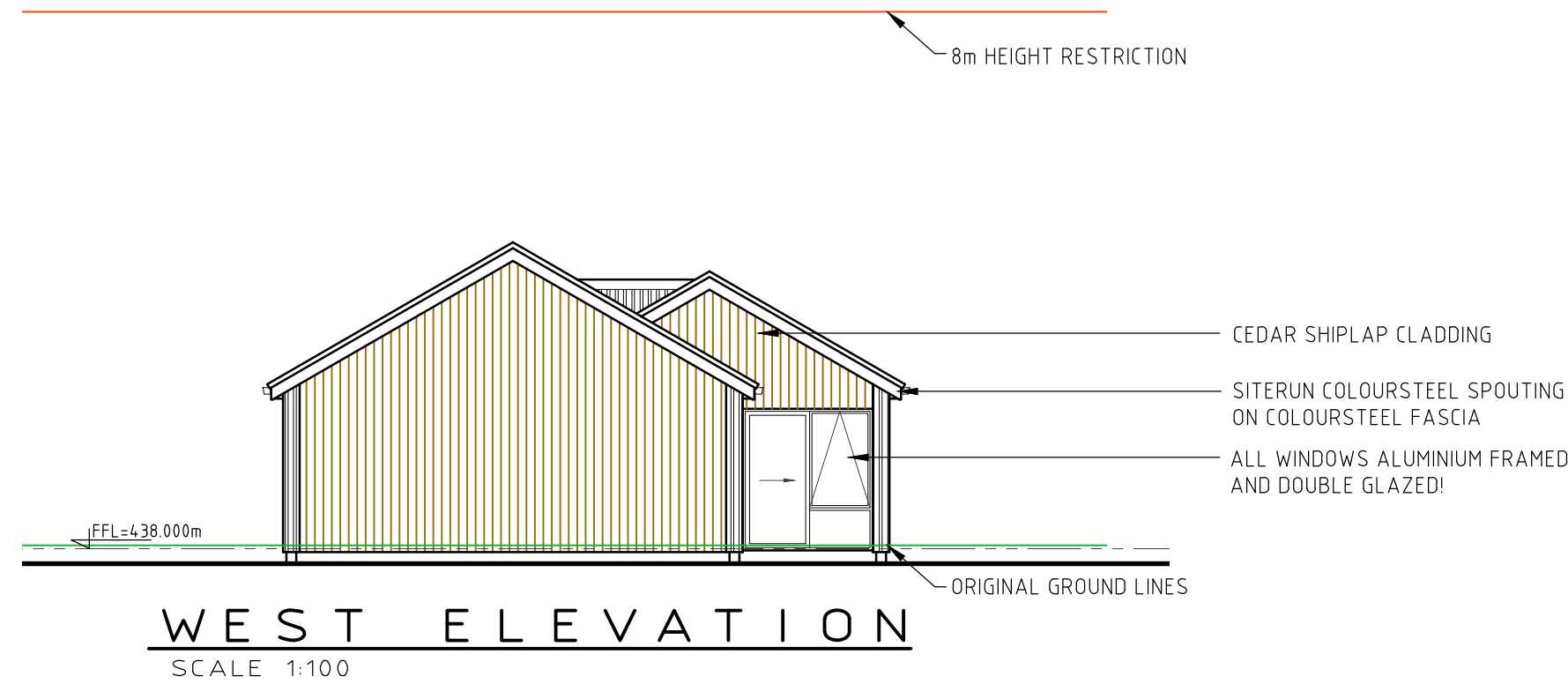
DRAWING NUMBER



QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM160487

27 January 2017



H1 CALCULATIONS

ORIENTATION	WALLS	WINS	RATIO
NORTH	XX.XX	XX.XX	XX.XX
SOUTH	XX.XX	XX.XX	XX.XX
WEST	XX.XX	XX.XX	XX.XX
EAST	XX.XX	XX.XX	XX.XX
TOTAL	XX.XX	XX.XX	XX.XX

REQUIRED R VALUES

CLIMATE ZONE	3
FLOOR	1.30
WALLS	2.00
WINDOWS	0.26
SKYLIGHTS	0.31
ROOF	3.30

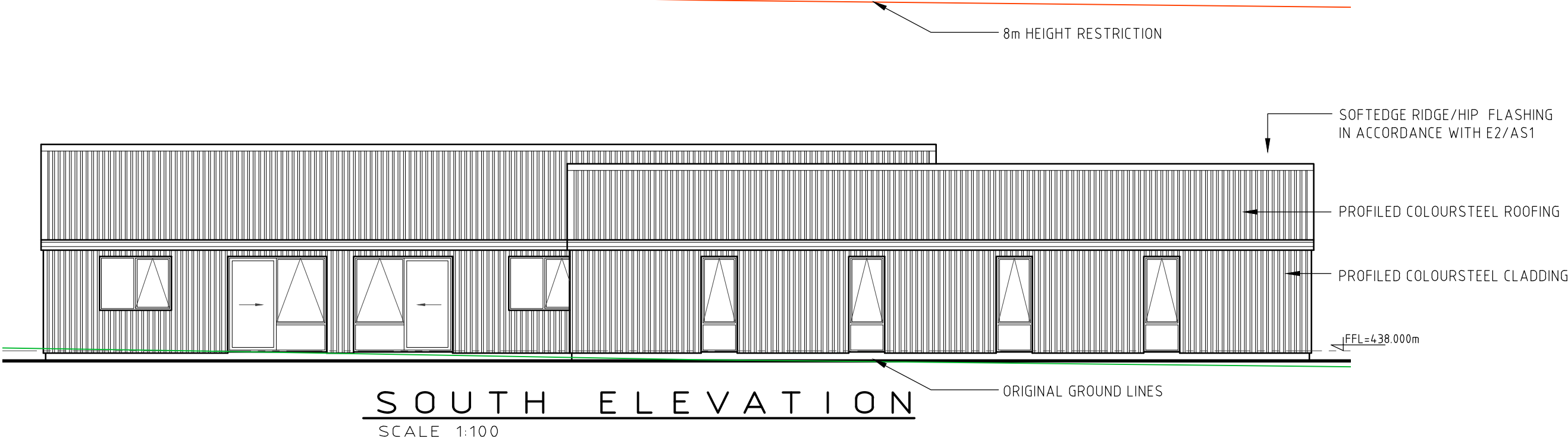
ELEVATION NOTES

ALL WINDOWS TO BE DOUBLE GLAZED, R VALUE TO BE R0.26 UNLESS OTHERWISE NOTED
ALL WINDOW DIMENSIONS ARE OUTSIDE REVEL WITH BUILDER TO ALLOW FITTING TOLERANCE
ALL LINTELS ARE TO BE SG8 GRADE AND ARE DETERMINED BY THE ALLOWANCES OF
NZS 3604:2011 AS ALLOWED, BUT WHERE IMPOSED TRUSS LOADING OR SPAN EXCEEDS
THIS, TRUSS MANUFACTURERS' LINTELS SUPERSEDE THE INFORMATION GIVEN
Ⓢ DENOTES SAFETY GLAZING IN ACCORDANCE WITH NZS 4223

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'A GRADE' SAFETY GLASS TO ALL EXTERIOR WINDOWS AND DOORS WITH GLAZING 1200mm IN HEIGHT OR GREATER
WANZ SUPPORT BAR TO ALL SLIDING DOOR UNITS AND WINDOWS

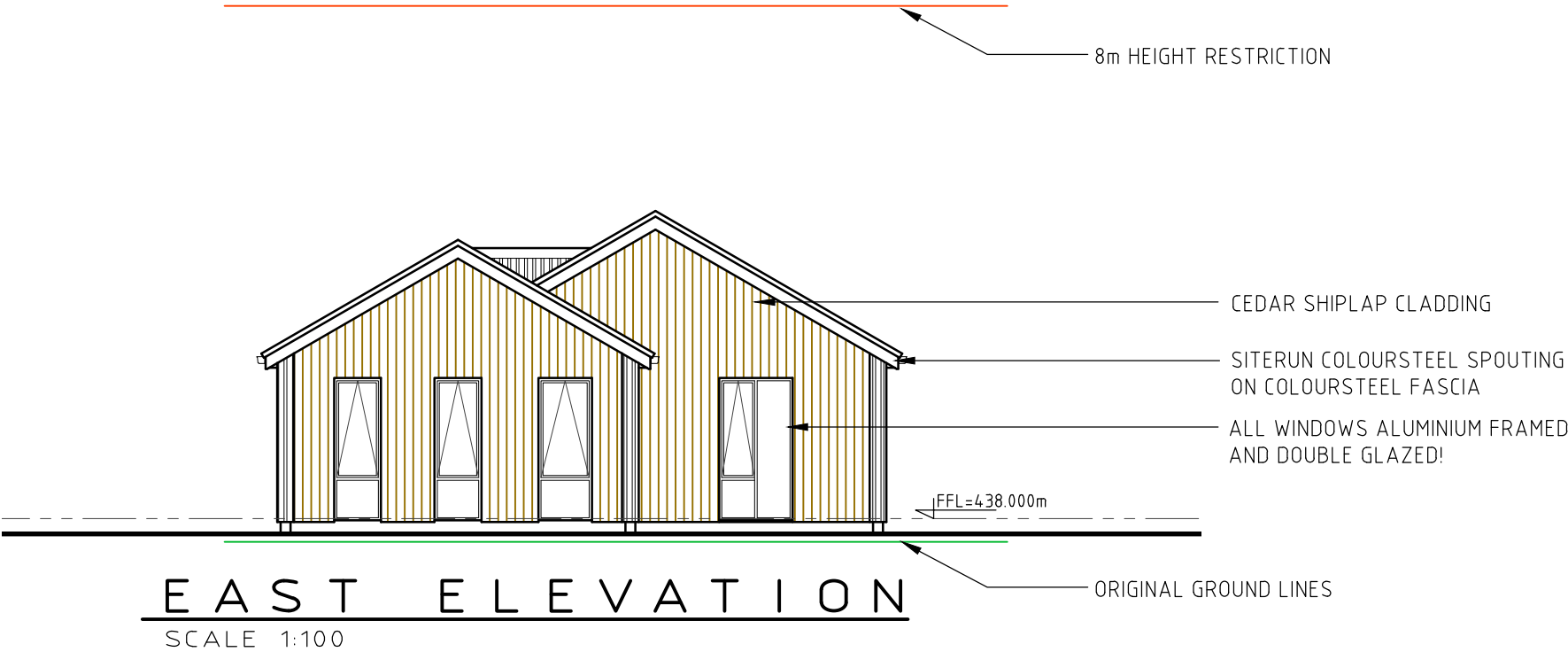




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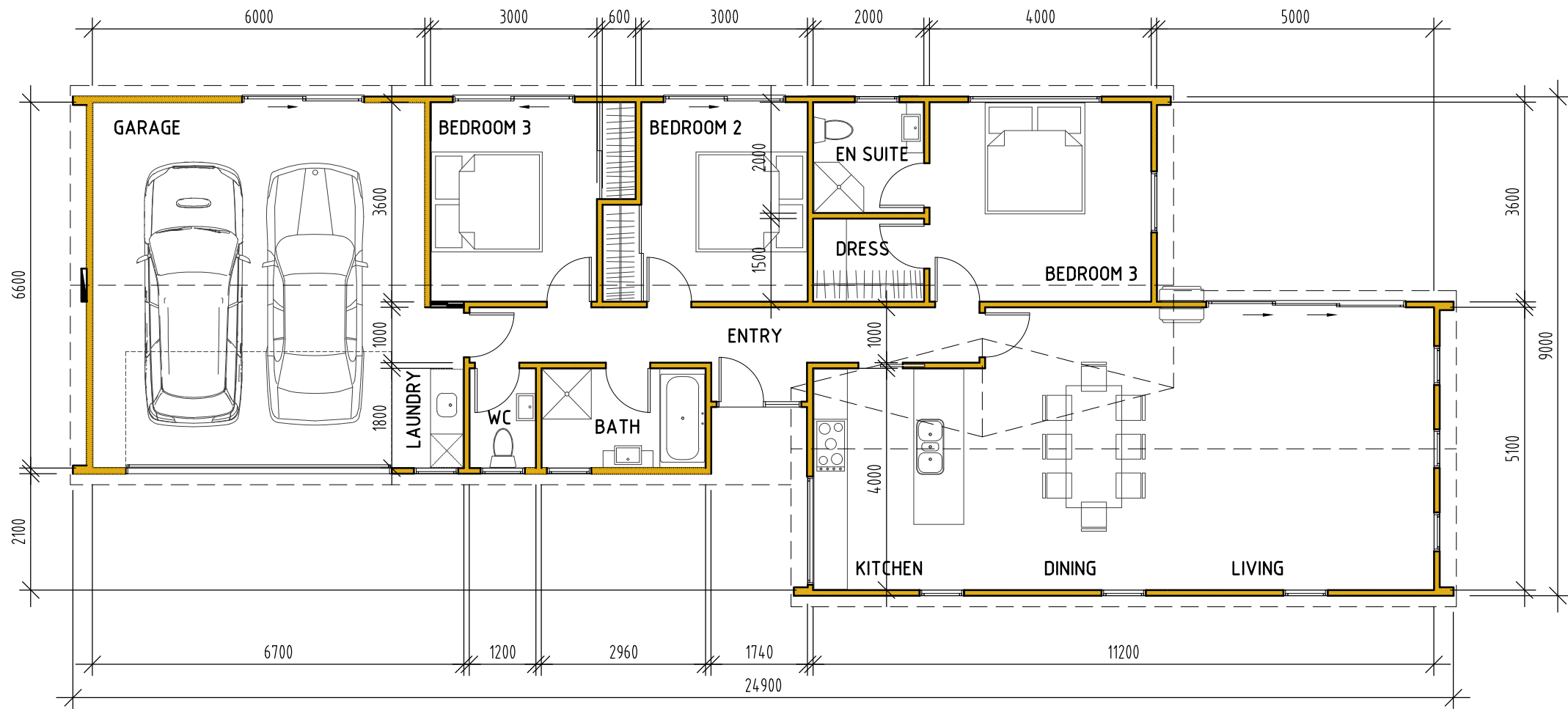




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AREA = 170.29 sq/m (INCLUDING GARAGE)

FLOOR PLAN

SCALE 1:100

E2/AS1 RISK MATRIX			
WIND ZONE	HIGH	1	
No OF STOREYS	LOW	0	
ROOF/WALL INTERSECTION	LOW	0	
EAVES WIDTH	LOW	0	
ENVELOPE COMPLEXITY	MEDIUM	1	
DECK DESIGN	LOW	0	
TOTAL		2	

FLOOR PLAN NOTES

CA RATED DOWNLIGHTS TO BE USED AS STANDARD UNLESS ANOTHER LIGHT SOURCE IS SPECIFIED.

ALL LIGHTING IS TO COMPLY WITH NZBC D1 & G8.

ALL ELECTRICAL INSTALLATIONS TO BE IN ACCORDANCE WITH NZECP 51:2001.

ALL GLAZING TO COMPLY WITH NZS 4223.

ALL HARD FLOOR FINISHED TO COMPLY WITH NZBC D1/AS TABLE 2. FLOOR TILES TO BE NON-SLIP AND HAVE A SLIP COEFFICIENT VALUE OF 0.35-0.65 FOR GRIT FINISHED CERAMIC TILES.

FLOOR PLAN NOTES

MECHANICAL EXTRACTION IS REQUIRED TO TERMINATE TO EXTERNAL AIR SPACE THROUGH SOFFIT

ALL SMOKE ALARMS TO COMPLY WITH EITHER UL217, ULCS531, AS3786 OR BS5446 Pt1

HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS 4305:1996. MAINS PRESSURE: Ø15mm ALLOWS 12m MAX PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.

ALL ROBE PANEL SLIDERS TO BE FULL HEIGHT. SHELF AND RAIL TO ROBES.

ARTIFICIAL ELECTRICAL LIGHTING SHALL BE PROVIDED TO ALL AREAS PROVIDING A MINIMUM OF 20 LUX IN ACCORDANCE WITH G8 OF THE NZBC

MATERIALS USED		LEGEND
FLOOR	REINFORCED CONCRETE SLAB	
FRAMING	SG8 H1.2 RADIATA	EXTERNAL WATER TAP
ROOFING	PROFILED COLOURSTEEL	SMOKE ALARM WITH HUSH
CLADDING	CEDAR SHIPLAP, W/BOARD	HOT WATER CYLINDER (300L)
WALL INSULATION	R2.6 BATTS	
ROOF INSULATION	R3.6 BATTS	

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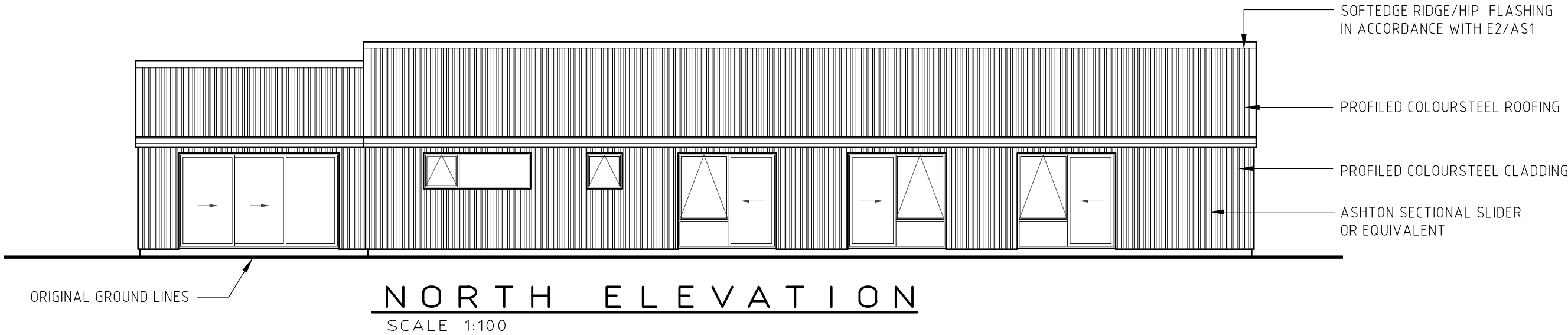
FAT HIPPO
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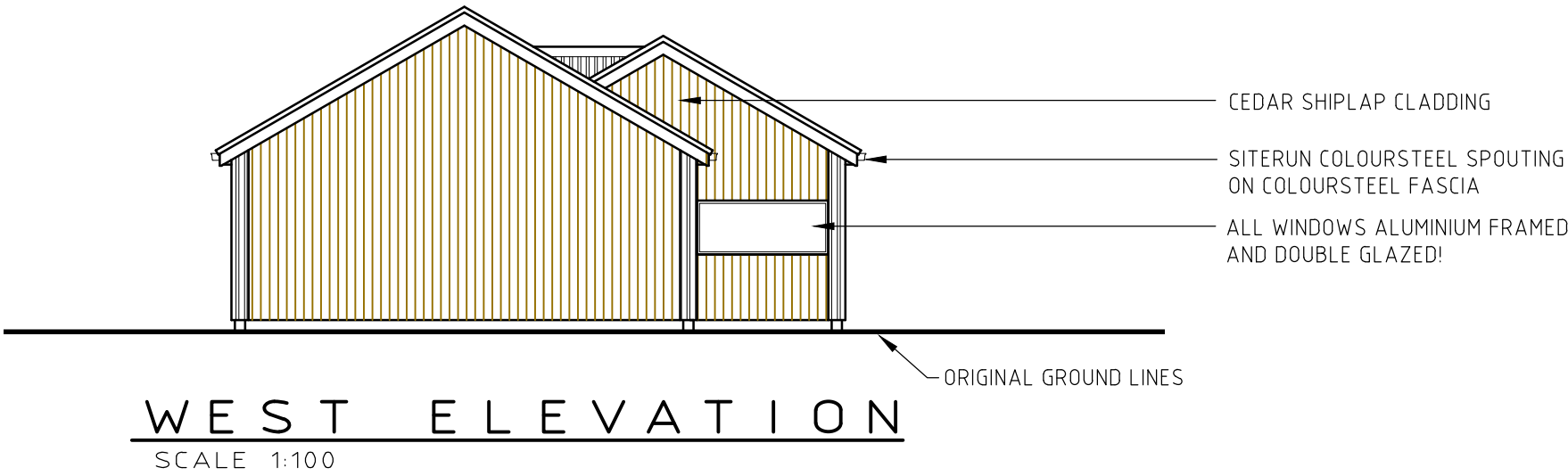
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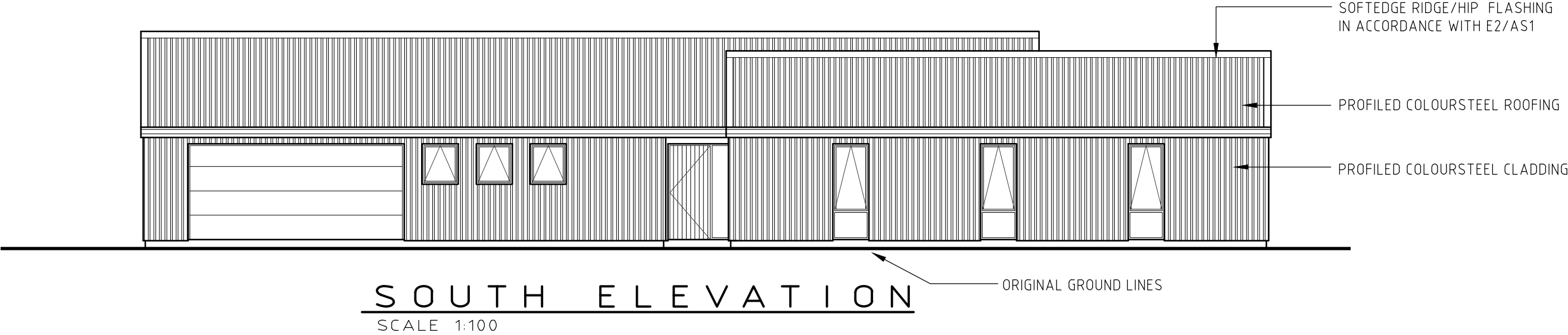
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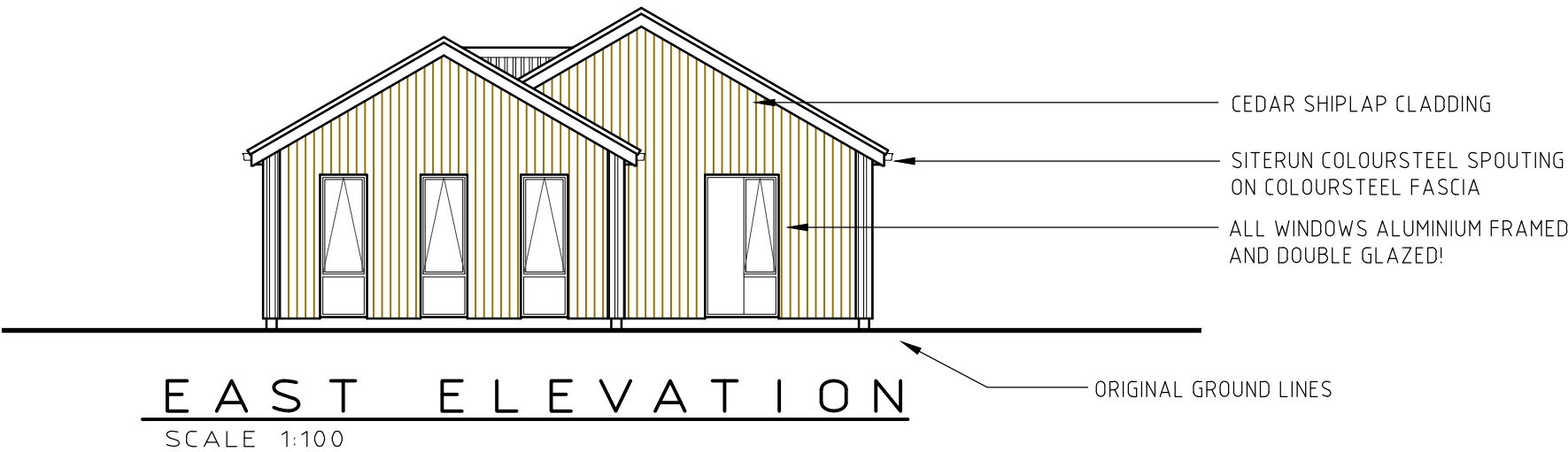




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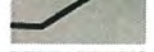




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LEGEND

-  Yellow line - Existing property boundaries.
-  Brown line - Existing post and rail fence to be retained.
-  Proposed boundary lines.
-  Proposed driveways and access ways.
-  Floor plan of the proposed dwellings.
-  Proposed Pin Oaks. Individually located.
-  Proposed Liquid Amber. Individually located.
-  Proposed Portuguese laural hedge.
 - The Portuguese laural hedge adjacent to Erskine Street will be maintained at a minimum height of 1.2m.
 - The Portuguese laural hedge adjacent to 45C Erskine Street will be maintained at a minimum height of 1.7m.



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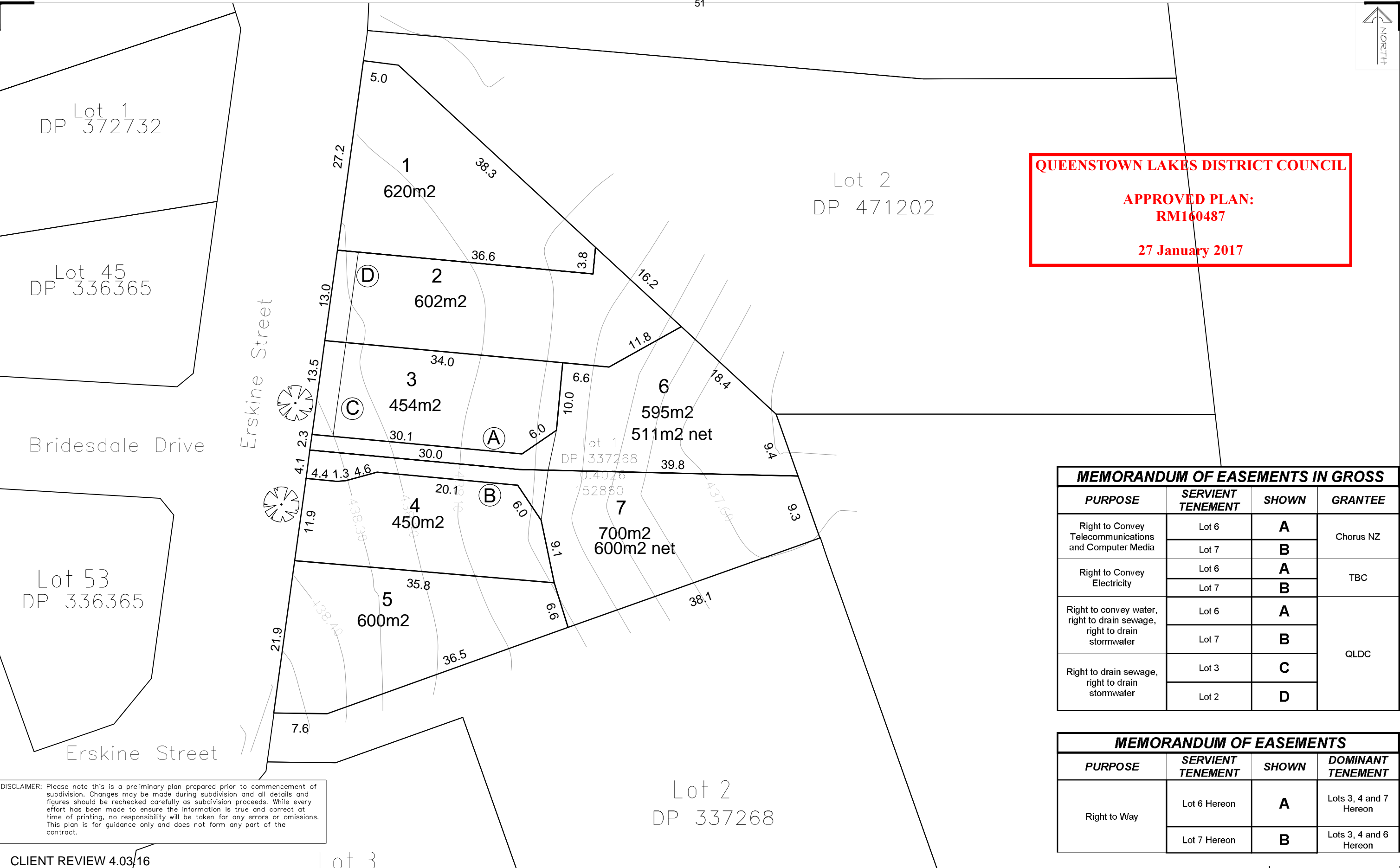


REF: 1016 - SLP1
DATE: 30.11.2016
SCALE: 1:500 @ A3

Structural Landscape Plan Erskine Street, Lake Hayes Estate, Queenstown

vivian+espie
resource management and landscape planning

vivian+espie Limited Resource Management and Landscape Planning
PO Box 2514 Queenstown
Physical Address: Unit 15, 70 Glenda Drive, Frankton, Queenstown
Tel: +64 3 441 4189 Fax: +64 3 441 4190 Web: www.vivianespie.co.nz



QUEENSTOWN LAKES DISTRICT COUNCIL

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27 January 2017

MEMORANDUM OF EASEMENTS IN GROSS

PURPOSE	SERVIENT TENEMENT	SHOWN	GRANTEE
Right to Convey Telecommunications and Computer Media	Lot 6	A	Chorus NZ
	Lot 7	B	
Right to Convey Electricity	Lot 6	A	TBC
	Lot 7	B	
Right to convey water, right to drain sewage, right to drain stormwater	Lot 6	A	QLDC
	Lot 7	B	
Right to drain sewage, right to drain stormwater	Lot 3	C	
	Lot 2	D	

MEMORANDUM OF EASEMENTS

PURPOSE	SERVIENT TENEMENT	SHOWN	DOMINANT TENEMENT
Right to Way	Lot 6 Hereon	A	Lots 3, 4 and 7 Hereon
	Lot 7 Hereon	B	Lots 3, 4 and 6 Hereon

DISCLAIMER: Please note this is a preliminary plan prepared prior to commencement of subdivision. Changes may be made during subdivision and all details and figures should be rechecked carefully as subdivision proceeds. While every effort has been made to ensure the information is true and correct at time of printing, no responsibility will be taken for any errors or omissions. This plan is for guidance only and does not form any part of the contract.

CLIENT REVIEW 4.03/16

Clark Fortune McDonald & Associates
Licensed Cadastral Surveyors - Land Development - Planning Consultants
309 Lower Shotover Road, P.O.Box 553 Queenstown
Tel. (03)441-6044, Fax (03)442-1066, Email admin@cfma.co.nz

Shop 2, Otago House, 475 Moray Place, P.O. Box 5960
Tel. (03)470-1582, Fax (03)470-1583, Email admin@cfma.co.nz

Rev.	Date	Revision Details	By
A	3.5.16	Lot Layout	CRW
B	25.7.16	Lot Layout	CRW

LOTS 1 – 7 BEING A PROPOSED
SUBDIVISION OF LOT 1 DP 337268
Erskine Street

Client	Surveyed	Signed	Date	Job No.	Drawing No.
WOODLOT PROPERTIES LTD				12408	01_01
	Drawn	Signed	Date	Scale	
	CRW		19.2.16	1:250 @ A1	
	Designed	Signed	Date	Datum & Level	Rev.
				Mt Nic 2000	B