



DECISION OF THE QUEENSTOWN LAKES DISTRICT COUNCIL

RESOURCE MANAGEMENT ACT 1991

Applicant:	Little Stream Limited
RM Reference:	RM140712
Consent Order:	ENV-2015-CHC-005
Legal Description:	Lot 1 DP 475338 held in Computer Freehold Register 654887. A boundary adjustment to include Lot 1 DP 475338, Lot 7 DP 397750 and Lot 21 DP 436952.
Decision Date	21 May 2015 29 June 2015 RE ISSUE

SUMMARY OF DECISION

Pursuant to Section 104 of the RMA, consent was **GRANTED SUBJECT TO CONDITIONS** by Environment Court Consent Order ENV-2015-CHC-005 (dated 21 May 2015).

This decision is a re-issue of ENV-2015-CHC-005, being a Consent Order to allow resource consent RM140712. Section 133A of the RMA allows the consent authority to issue an amended consent to correct minor mistakes within 20 working days of the consent being granted. The consent holder has confirmed that the time period may be extended under Section 37 of the RMA, and the timeframe is now doubled to 40 days. The request for the re-issue of this decision was made on 26 May 2015.

The consent is being re-issued because the decision contains a minor error, in that Condition 7(c) required that the driveways to Lots 21-23 needed to be sealed. As written, this condition did not reflect the agreed intention that no sealing was required over lots 22 and 23. The condition was also in conflict with the approved plans, as the typical cross-section doesn't show a sealed surface. The revised condition 7(c) is now written to read as follows:

7(c) The construction of a sealed right-of way access over Lot 21, to Lot 22. Construction shall be in accordance with Council Standards. Specifically the right of way access shall have a 3.5m minimum sealed formation width and be contained within a 10m wide easement, which shall be provided for in accordance with Condition 11. Stormwater disposal and vehicle passing opportunities shall be provided along the right of way access at not less than 100m intervals.

The assessment undertaken has not changed. The correction is considered to be a minor mistake, and therefore the decision is re-issued pursuant to Section 133A of the RMA. The decision was made and the re-issue authorised by Blair Devlin, Resource Consenting Manager, as delegate for Council, on 29 June 2015. This re-issue is made 20 working days after the grant of the consent, extended under Section 37 to 40 days, within the statutory timeframes prescribed by Section 133A of the RMA.

Decision made by

A handwritten signature in black ink, appearing to read 'Blair Devlin', with a long horizontal stroke extending to the right.

Blair Devlin

MANAGER, RESOURCE CONSENTS

BEFORE THE ENVIRONMENT COURT

IN THE MATTER of the Resource Management Act 1991
AND of an appeal under section 120 of the Act
BETWEEN LITTLE STREAM LIMITED
(ENV-2015-CHC-005)
Appellant
AND QUEENSTOWN LAKES DISTRICT
COUNCIL
Respondent

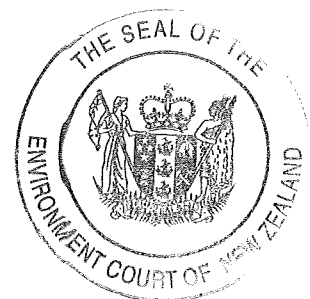
Environment Judge J R Jackson sitting alone pursuant to section 279 of the Act
In Chambers at Christchurch

CONSENT ORDER

[A] Under section 279(1)(b) of the Resource Management Act 1991, the Environment Court, by consent, orders that:

- (1) the appeal is allowed and resource consent RM140712 is granted subject to the amended conditions marked Appendix 1, attached to and forming part of this order;
- (2) the appeal is otherwise dismissed.

[B] Under section 285 of the Resource Management Act 1991, there is no order as to costs.



REASONS

Introduction

[1] On 5 February 2015 Little Stream Limited lodged an appeal against a decision of the Queenstown Lakes District Council declining resource consent RM140712 for the subdivision and use of land for residential purposes at Littles Road, Wakatipu Basin, Queenstown.

[2] The court has now read and considered the consent memorandum of the parties dated 23 April 2015 which proposes to resolve the appeal.

Other relevant matters

[3] No person has given notice of an intention to become a party under section 274 of the Resource Management Act 1991 ("the RMA" or "the Act").

[4] Condition 1 refers to a number of plans. With regard to the Aurum survey plans it is recorded that the revision date for each of the plans can be found in the table on the bottom left of the plan (and not on the right-hand side as is customary).

Orders

[5] The court is making this order under section 279(1)(b) of the Act, such order being by consent, rather than representing a decision or determination on the merits pursuant to section 297. The court understands for present purposes that:

- (a) all parties to the proceedings have executed the memorandum requesting this order;
- (b) all parties are satisfied that all matters proposed for the court's endorsement fall within the court's jurisdiction, and conform to the relevant requirements and objectives of the Act including, in particular, Part 2.

DATED at Christchurch 21 May 2015


J R Jackson

Environment Judge

Issued:

21 MAY 2015

2015-chc-5 little stream ltd v qldc consent order



Appendix 1

General Conditions

1. That the development shall be undertaken/carried out in accordance with the attached plans (**Approved Plans**):

- Aurum Survey Consultants Drawing 2737.22R.1I Revision I dated 19/2/15
- Aurum Survey Consultants Drawing 2737.24R.1D, 2D, 3D, 4D and 5D Revision D dated 24.02.15, and 2737.24R.9C and 10C Revision C dated 24.02.15
- Vivian Espie Structural Landscape Plans for Lot 21, 22, 23 all dated 13/6/14

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

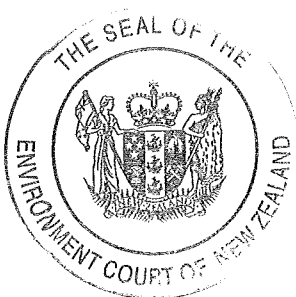
2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 and any finalised, additional charges under section 36(3) of the Act.
3. This subdivision shall be staged as follows:
Stage 1 – Lot 25
Stage 2 – Lots 21, 22 and 23

Engineering

4. All engineering works shall be carried out in accordance with the Queenstown Lakes District Council's (**QLDC or Council**) policies and standards, being New Zealand Standard 4404:2004 with the amendments to that standard adopted on 5 October 2005, except where specified otherwise (**Council Standards**).

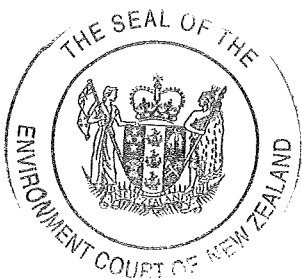
To be completed prior to the commencement of any works

5. Prior to the commencement of any works on site, the consent holder shall provide a letter to the Principal Resource Management Engineer at Council advising who its representatives are for the design and execution of the infrastructure engineering works required in association with this development and shall confirm that these



representatives will be responsible for all aspects of the works covered under NZS4404:2004 "Land Development and Subdivision Engineering".

6. Prior to commencing any works on Littles Road, the consent holder shall submit to the Road Corridor Engineer and Principal Resource Management Engineer at Council for approval a traffic management plan. The Traffic Management Plan shall be prepared by a Site Traffic Management Supervisor (**STMS**). All contractors shall follow the Traffic Management Plan and shall employ a qualified STMS on site who shall be responsible for implementing the Traffic Management Plan.
7. Prior to the commencement of any works the consent holder shall provide to the Principal Resource Management Engineer at Council for review and certification, copies of specifications, calculations and design plans as are considered by Council to be both necessary and adequate in accordance with Condition (1), to detail the following engineering works required:
 - a) Provision of a minimum supply of 2,100 litres per day of potable water to the building platforms or within the lot boundary and no greater than 30m from the building platforms on Lots 21-23 that complies with/can be treated to consistently comply with the requirements of the Drinking Water Standard for New Zealand 2005 (Revised 2008).
 - b) The construction of a sealed vehicle crossing from Littles Road to the existing right-of-way shown on the Approved Aurum Survey Plans. Construction shall be in accordance with Diagram 2, Appendix 7 of the District Plan. The vehicle crossing shall be trafficable in all weathers and shall be capable of withstanding an axle load of 8.2 tonnes or have a load bearing capacity of no less than the public roadway serving the property, whichever is the lower. Provision shall be made to continue any roadside drainage traversed by the vehicle crossing.
 - c) The construction of a sealed right-of-way access to Lots 21-23 from the existing right of way shown on the Approved Aurum Survey Plans. (For clarification the access required to be formed by this Condition is depicted on the Approved Aurum Survey Plans as a Proposed Easement). Construction shall be in accordance with Council Standards. Specifically the right of way access shall have a 3.5m minimum sealed formation width and be contained within a 10m wide easement, which shall be provided for in accordance with Condition 11. Stormwater disposal and vehicle passing opportunities shall be provided along the right of way access at no less than 100m intervals



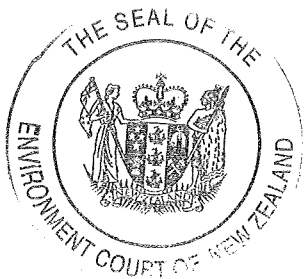
- d) The formation of Roads 4-6 as depicted on the Approved Aurum Survey Plans. Formation shall be in accordance with Council Standards.
 - e) The provision of Design Certificates for all engineering works associated with this development, which shall be submitted by a suitably qualified design professional. (For clarification this shall include all Roads and Water reticulation works). The Certificates shall be in the format of the NZS4404 Schedule 1A Certificate.
 - f) The provision of secondary flow paths to contain overland flows in a 1 in 100 year event so that there is no inundation of any building platforms on Lots 21-23 and no increase in run-off onto and beyond the site from the pre-development situation.
8. The consent holder shall install measures to control and/or mitigate any dust, silt run-off and sedimentation that may occur, in accordance with NZS 4404:2004 and 'A Guide to Earthworks in the Queenstown Lakes District' brochure, prepared by Council. These measures shall be implemented prior to the commencement of any earthworks for the development and shall remain in place for the duration of the development, until all exposed areas of earth are permanently stabilised.

To be monitored throughout earthworks

9. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at its expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the site.
10. No earthworks, temporary or permanent, are to be carried out beyond or breach the boundary of the site, except where required under Condition 7(b) above for the formation of the Littles Road vehicle crossing.

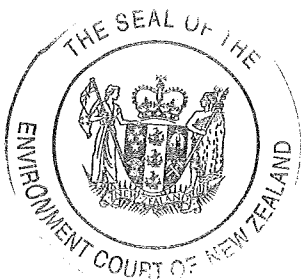
To be completed before Council approval of the Survey Plan

11. Prior to Council approving the Survey Plan pursuant to Section 223 of the Resource Management Act 1991, the consent holder shall ensure the right of way access required by Condition 7(c) above is shown in the Memorandum of Easements attached to the Survey Plan, in accordance with Section 243(b) of the Resource Management Act.



To be completed before issue of the s224(c) certificate

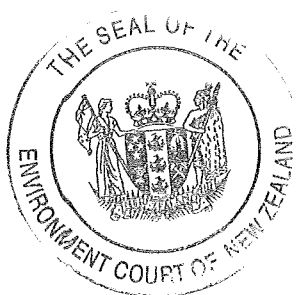
12. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the consent holder shall complete the following:
 - a) Provide "as-built" plans and information required to detail all engineering works completed in relation to or in association with the development to the Principal Resource Management Engineer at Council. This information shall be formatted in accordance with Council's 'As-Built' standards and shall include all Roads (including right of ways and access lots) and Water reticulation (including private laterals and toby positions).
 - b) A digital plan showing the location of all building platforms as shown on the Survey Plan shall be submitted to the Principal Resource Management Engineer at Council. This plan shall be in terms of New Zealand Transverse Mercator 2000 coordinate system (NZTM2000), NZGDM 2000 datum.
 - c) The completion and implementation of all works detailed in Condition (7). above.
 - d) Cancel Consent Notice 9728145.15 as it relates to Lot 1 DP 475338 and replace it with the new Consent Notices described in Condition 13.
 - e) Written confirmation shall be provided from the electricity network supplier responsible for the area that provision of an underground electricity supply has been made available (minimum supply of single phase 15kva capacity) to each new building platform and that all the network supplier's requirements for making such means of supply available have been met.
 - f) Written confirmation shall be provided from the telecommunications network supplier responsible for the area that provision of underground telephone services has been made available to each new building platform and that all the network supplier's requirements for making such means of supply available have been met.
 - g) The submission of Completion Certificates from the consent holder's representatives identified under Condition 5 for all engineering works completed in relation to or in association with this development (for clarification this shall include all Roads and Water reticulation). The Certificates shall be in the format of a Producer Statement, or the NZS4404 Schedule 1B and 1C Certificate.
 - h) All earthworked/exposed areas shall be top-soiled and grassed /revegetated or otherwise permanently stabilised.



- i) The consent holder shall remedy any damage to all existing road surfaces and berms that results from work carried out for the development.
- j) Internal service easements such as those providing for roading, water electricity and telecommunications supply included in the Memorandum of Easements shall include comprehensive provisions which address and provide for the ongoing maintenance of those internal services.
- k) The consent holder shall complete the landscaping on Lots 21 – 23 in accordance with the Approved Landscape Plans.

Ongoing Conditions/Consent Notices

13. Prior to certification pursuant to section 224(c) of the Resource Management Act and in accordance with section 221 of the Act:
- (a) In so far as it relates to Lot 1 DP 475338 Consent Notice 9728145.15 shall be cancelled and replaced with the following consent notices which shall be registered against the Certificates of Title for the lots stated below requiring performance on an ongoing basis:
 - (c) At the time a dwelling is erected on any of Lots 21 - 23, and Lot 25 the owner for the time being of the Lot shall construct an access way to the dwelling that complies with relevant Council standards applicable at that time.
 - (d) All future buildings on Lots 21 – 23 and Lot 25 shall be contained within the Building Platforms depicted on the Approved Aurum Survey Plans referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444 and shall comply with the following height limits:
 - Lot 21 = 420.60 masl.
 - Lot 22 = 429.70 masl.
 - Lot 23 = 435 masl.
 - Lot 25 = 440.75 masl
 - (e) At the time a dwelling is erected on any of Lots 21 – 23 or Lot 25 the owner for the time being of the Lot shall engage a suitably qualified professional as defined in Section 1.4 of NZS4404:2004 to design an effluent disposal system in terms of AS/NZS 1547:2012 that will provide sufficient treatment/renovation to effluent from on-site disposal, prior to discharge to land. The design shall take into account the site specific report and recommendations by Hadley Consultants Ltd 'On-site Wastewater Assessment', dated 25/06/2013. Disposal areas shall be located such that maximum separation (in all instances greater than 50 metres) is obtained from any watercourse or water supply bore, unless consent for a lesser distance is obtained from the Otago Regional Council. The



proposed wastewater system shall be subject to the review of the Principal Engineer at Council prior to implementation and shall be installed prior to occupation of the dwelling. A producer statement shall be provided to the Principal Engineer at Council that confirms the system has been installed in accordance with the criteria and design required by this Condition.

- (f) The Little Stream Water Company Limited shall ensure the drinking water supply is monitored for compliance with the Drinking Water Standard for New Zealand 2005 (revised 2008), and the results forwarded to the Principal: Environmental Health at Council. The laboratory carrying out the analysis shall be approved by the Ministry of Health. Should the water supply not meet the requirements of the Standard then the Little Stream Water Company Limited shall be responsible for ensuring the provision of treatment to the supply to ensure the Standard is met or exceeded.
- (g) At the time a dwelling is erected on any of Lots 21 – 23 or 25 a domestic water and fire fighting storage is to be provided. A minimum of 20,000 litres shall be maintained at all times on each lot as a static fire fighting reserve within a 30,000 litre tank. Alternatively, a 7,000 litre fire fighting reserve is to be provided for each dwelling in association with a domestic sprinkler system installed to an approved standard. A fire fighting connection in accordance with Appendix B - SNZ PAS 4509:2008 is to be located no further than 90 metres, but no closer than 6 metres, from any building on the site. Where pressure at the connection point/coupling is less than 100kPa (a suction source – see Appendix B, SNZ PAS 4509:2008 section B2), a 100mm Suction Coupling (Female) complying with NZS 4505, is to be provided. Where pressure at the connection point/coupling is greater than 100kPa (a flooded source - see Appendix B, SNZ PAS 4509:2008 section B3), a 70mm Instantaneous Coupling (Female) complying with NZS 4505, is to be provided. Flooded and suction sources must be capable of providing a flow rate of 25 litres/sec at the connection point/coupling.

The reserve capacities and flow rates stipulated above are relevant only for single family dwellings. In the event that a dwelling provides for more than single family occupation then the lot owner shall consult with the New Zealand Fire Service as larger capacities and flow rates may be required.

The connection point/coupling must be located so that it is not compromised in the event of a fire. The connection point/coupling shall have a hardstand area adjacent to it (within 5m) that is suitable for parking a fire service appliance. The hardstand area shall be located in the centre of a clear working space with a minimum width of 4.5 metres. Pavements or roadways providing access to the



hardstand area must have a minimum formed width as required by Council's standards for rural roads (as per NZS 4404:2004 with amendments adopted by Council in 2005). The pavement or roadway shall be trafficable in all weathers and shall be capable of withstanding an axle load of 8.2 tonnes or have a load bearing capacity of no less than the public roadway serving the property, whichever is the lower. Access shall be maintained at all times to the hardstand area.

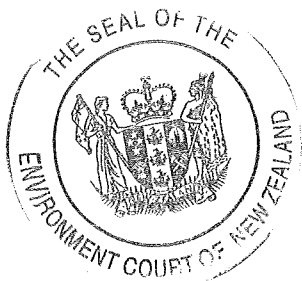
Underground tanks or tanks that are partially buried (provided the top of the tank is no more than 1 metre above ground) may be accessed by an opening in the top of the tank whereby couplings are not required. There shall be a hardstand area adjacent to any underground or partially buried tank in order to allow a fire service appliance to park on it and access to the hardstand area must be provided as above.

The connection point/coupling/fire hydrant/tank must be located so that it is clearly visible and/or provided with appropriate signage to enable connection of a fire appliance.

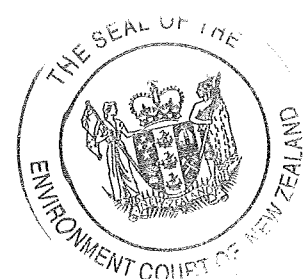
Fire fighting water supply may be provided by means other than the above if the written approval of the New Zealand Fire Service Central North Otago Area Manager is obtained for the proposed alternative method.

The fire fighting water supply tank and/or the sprinkler system shall be installed prior to the occupation of the dwelling.

- (h) The Approved Landscape Plans (referenced in Condition 1 of RM140712) are intended to minimise the visibility of buildings and domestic activities within the defined curtilage areas marked on those Plans. In order to achieve this, the landscaping and plantings shall be maintained on an ongoing basis.
- (i) No part of any lot boundary shall be planted in lineal or border planting, or mass planting against the boundary.
- (j) All earthworks shall be shaped and sown in grass, or planted as required by the Approved Landscape Plans (referenced in Condition 1 of RM140712), to blend seamlessly into the surrounding natural contours with smooth changes in gradient and shaped to match the natural landforms.
- (k) All areas of exposed soil shall be reseeded within 3 months of completion of earthworks. Reseeded areas shall be maintained and reseeded as required to achieve a healthy sward of grass. Complete coverage shall be required within 1 year of completion of earthworks
- (l) All boundary fences shall be standard farming post and wire only. There shall be no boundary planting that would accentuate lot boundaries. Fencing may be established for pest management purposes.

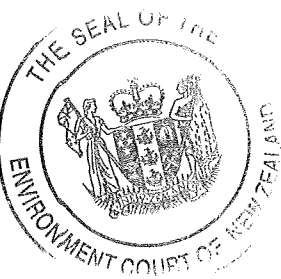


- (m) All planting and existing trees and hedges shown as shown on the Approved Landscape Plans (referenced in Condition 1 of RM140712) shall be maintained as per the Plans and to ensure healthy growth. If any tree species shall die, become damaged or is no longer of healthy condition it shall be replaced within 12 months
- (n) No concrete curb or channelling shall be used for roads or driveways to ensure the rural character of the location is maintained.
- (o) The driveway for Lot 25 shall be gravel only of local stone chip, and shall not have avenue or border planting to keep in character with the surrounding open pastoral landscape.
- (p) All land that is outside the marked curtilage areas depicted on the Approved Landscape Plans (referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444) shall be restricted to pastoral use only and shall be kept free of all noxious weeds. No planting shall be permitted outside the marked curtilage areas except for that shown on the Approved Landscape Plans.
- (q) All domestic elements (such as sheds, garages, car-parking area, gardens, external lighting, lawns, water tanks and clothes lines, etc.) shall be contained within the marked curtilage areas depicted on the Approved Plans (referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444).
- (r) All curtilage areas shall be fenced in standard post and wire fencing that shall not exceed a height of 1.2m.
- (s) For Lots 21-23, within those areas identified on the Approved Landscape Plans (referenced in Condition 1 of RM140712) as CA1:
 - No built form or structure shall exceed a height of 3 metres; and
 - Planting with a mature height of over 4m shall be of a species typical of the rural pastoral landscape such as poplar, oak, non-wildling pines or indigenous species; and
 - No domestic, amenity or ornamental species that would be out of context within the upland pastoral landscape or draw attention to the site from Littles Road shall be planted.
- (t) For Lots 21 – 23, within those areas identified on the Approved Landscape Plans (referenced in Condition 1 of RM140712) as CA2 the only activities permitted shall be manicured lawn spaces and vegetation that does not exceed 1.5m in height at maturity.
- (u) For Lot 25, any planting within the marked curtilage area depicted on the Approved Plans (referenced in Condition 1 (Decisions A and B) of RM130444)



with a mature height of over 4m shall be of a species typical of the rural pastoral landscape such as poplar, oak, non-wilding pines or indigenous species and shall not be a domestic, amenity or ornamental species that would be out of context with the upland pastoral landscape or draw attention to the site or be visible from Tucker Beach Road or the Tucker Beach river reserve.

- (v) For Lot 25, all outdoor activities associated with residential use shall be contained within the marked curtilage area depicted on the Approved Plans (referenced in Condition 1 (Decisions A and B) of RM130444) and built form within these spaces shall not exceed a height of 3m.
- (w) All external lighting shall be restricted to the marked curtilage areas on the Approved Plans (referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444) and shall be down lighting only. Lighting shall not exceed 1m in height, except where attached to a building where it shall not exceed 3m in height. There shall be no light spill beyond the lot boundary. No external lighting shall be used to highlight or accentuate built forms, structural elements or any landscape features.
- (x) On Lots 21 – 23 and Lot 25 built elements upon the roof or the upper portion of any building, including but not limited to chimney flues, satellite dishes and solar panels, shall not extend beyond the building heights specified in condition 13(d) and shall be of a colour to match the roof.
- (y) On Lots 21 – 23 the external roofing materials of all buildings shall be finished in dark recessive tones of grey, green or brown with a light reflectivity value of between 7% and 20% and shall have a matt finish if painted, or alternatively be a living green roof with planting complementary to the surrounding landscape.
- (z) On Lot 25 any building within the building platform shall have a living green roof (turf or similar) or be coloured with dark grey or green finish with a light reflectivity value of between 5% and 15% with a matt finish to ensure the roof is recessive in the surrounding pastoral landscape.
- (aa) On Lots 21 – 23 and Lot 25 the external wall claddings of all buildings shall be limited to a plaster finish, horizontal schist, natural finished weatherboards, painted weatherboards in recessive colours or painted corrugated iron that is finished in a dark recessive colour of grey, green or brown with a light reflectivity value of between 7% and 35%.(ab) For all buildings joinery shall match or be darker than roof and external wall colours.
- (ab) All ancillary structures (for example: garden sheds and garages) shall be clad and coloured to match the principal dwelling.
- (ac) The portions of each lot outside of the curtilage areas shall be managed in two ways. Specific planting and mounding shall be undertaken only in accordance

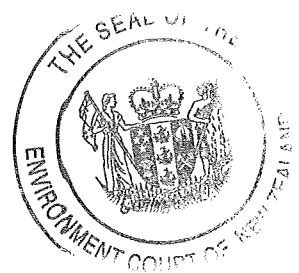


with the Approved Plans (referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444), and the remainder shall be maintained as pastoral land via grazing or periodic mowing.

- (ad) Monumental gates or any other road front 'furniture' other than simple post and rail or stone fences to 1.4 metres in height shall not be permitted.
- (ae) Vehicle access to each building platform shall have tar seal or gravel finish
- (af) The wilding species listed below that have the potential to easily spread shall not be planted on and if established shall be removed from the site:
 - (a) Contorta or lodge pole pine (*Pinus contorta*)
 - (b) Scots pine (*Pinus sylvestris*)
 - (c) Douglas fir (*Pseudotsuga menziesii*)
 - (d) European larch (*Larix decidua*)
 - (e) Corsican pine (*Pinus nigra*)
 - (f) Radiata Pine (*Pinus radiata*)
 - (g) Bishops pine (*Pinus muricata*)
 - (h) Ponderosa pine (*Pinus ponderosa*)
 - (i) Mountain Pine/Dwarf Mountain pine (*Pinus mugo*)
 - (j) Maritime pine (*Pinus pinaster*)
 - (k) Sycamore
 - (l) Hawthorn
 - (m) Boxthorn
- (ag) All earth bunds (proposed and existing) shown on the Approved Aurum Survey Plans (referenced in Condition 1 of RM140712 and Condition 1 (Decisions A and B) of RM130444) shall be maintained in perpetuity for screening purposes.

For Lot 24

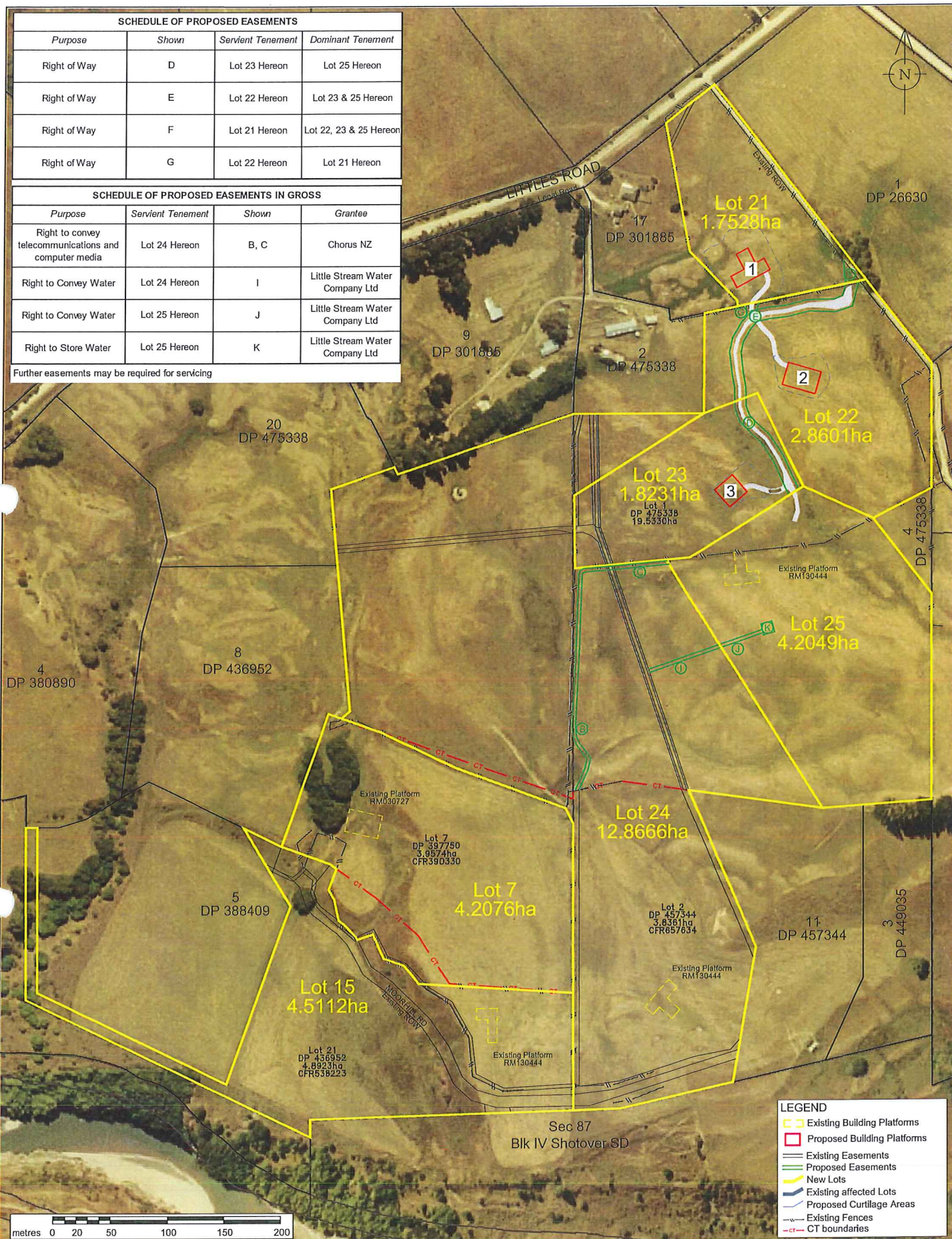
- (ah) There shall be no further subdivision of Lot 24.



SCHEDULE OF PROPOSED EASEMENTS			
Purpose	Shown	Servient Tenement	Dominant Tenement
Right of Way	D	Lot 23 Hereon	Lot 25 Hereon
Right of Way	E	Lot 22 Hereon	Lot 23 & 25 Hereon
Right of Way	F	Lot 21 Hereon	Lot 22, 23 & 25 Hereon
Right of Way	G	Lot 22 Hereon	Lot 21 Hereon

SCHEDULE OF PROPOSED EASEMENTS IN GROSS			
Purpose	Servient Tenement	Shown	Grantee
Right to convey telecommunications and computer media	Lot 24 Hereon	B, C	Chorus NZ
Right to Convey Water	Lot 24 Hereon	I	Little Stream Water Company Ltd
Right to Convey Water	Lot 25 Hereon	J	Little Stream Water Company Ltd
Right to Store Water	Lot 25 Hereon	K	Little Stream Water Company Ltd

Further easements may be required for servicing



LEGEND	
 	Existing Building Platforms
 	Proposed Building Platforms
	Existing Easements
	Proposed Easements
	New Lots
	Existing affected Lots
	Proposed Curtilage Areas
	Existing Fences
	CT boundaries

Notes:
- Areas and dimensions are subject to full legal survey
- Further easements will be required for services

A person/company using Aurum Survey Consultants drawings and other data accepts the risk of:
1. using the drawings and other data in electronic form without requesting and checking them for accuracy against the original hard copy versions;
2. using the drawings or other data for any purpose not agreed to in writing by Aurum Survey Consultants.

I	19/2/15	Boundaries altered to include Lot 2 DP 457344	SML
H	31/10/14	Easement schedule updated	SML
G	31/10/14	Underlying appellation corrected	SML
F	3/8/14	Title corrected	SML
E	28/5/14	Boundaries altered	SML
D	28/5/14	Boundaries altered	SML
C	28/5/14	Boundaries altered	SML
B	24/5/14	Boundaries altered	SML
REV	DATE	REVISION DETAILS	BY

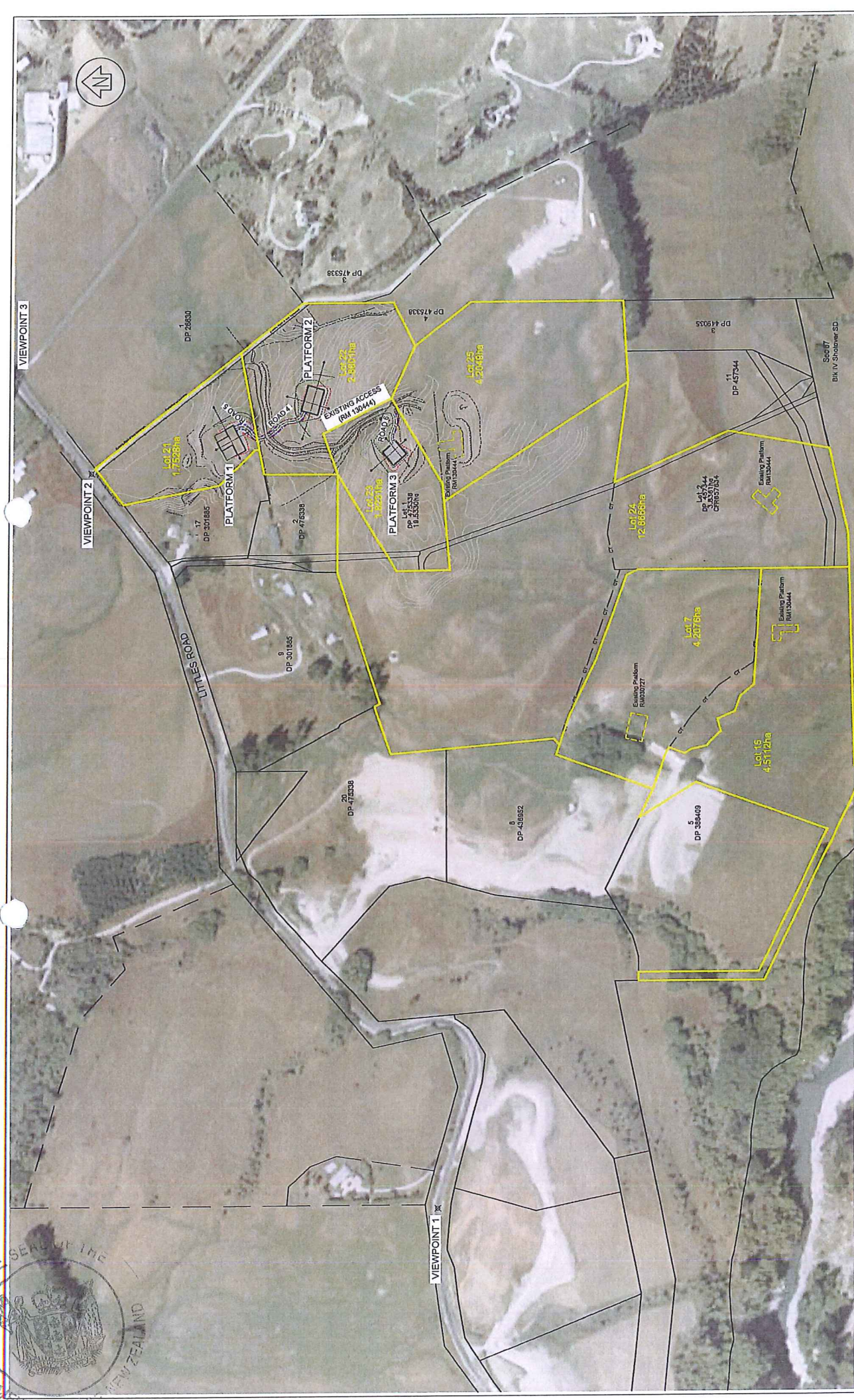
WARNING NOTE:
This resource consent plan has been prepared for the client from field survey and existing records for the purpose of a proposed subdivision on the land. It is to be used in conjunction with our terms of engagement to Little Stream Ltd. It should not be used by the client company for any other purpose. The plan is not to be relied on by any other person for any purpose whatsoever.

TITLE: Lots 7, 15 & 21 - 25 being a proposed subdivision of Lot 1 DP 475338, Lot 7 DP 397750, Lot 21 DP 436952 & Lot 2 DP 457344 for Little Stream Ltd

DATE: 22 May 2014
BY: Sam Lynds
Scale: 1:3000
Original Plan A3
DRAWING & ISSUE No. 2737.22R.11




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Email admin@ascl.co.nz



DATE: 13 MAY 2013	Scale	1:250	DRAWING & ISSUE No.
BY: Jason Rind	Original Plan A3		2737.24R.1D3

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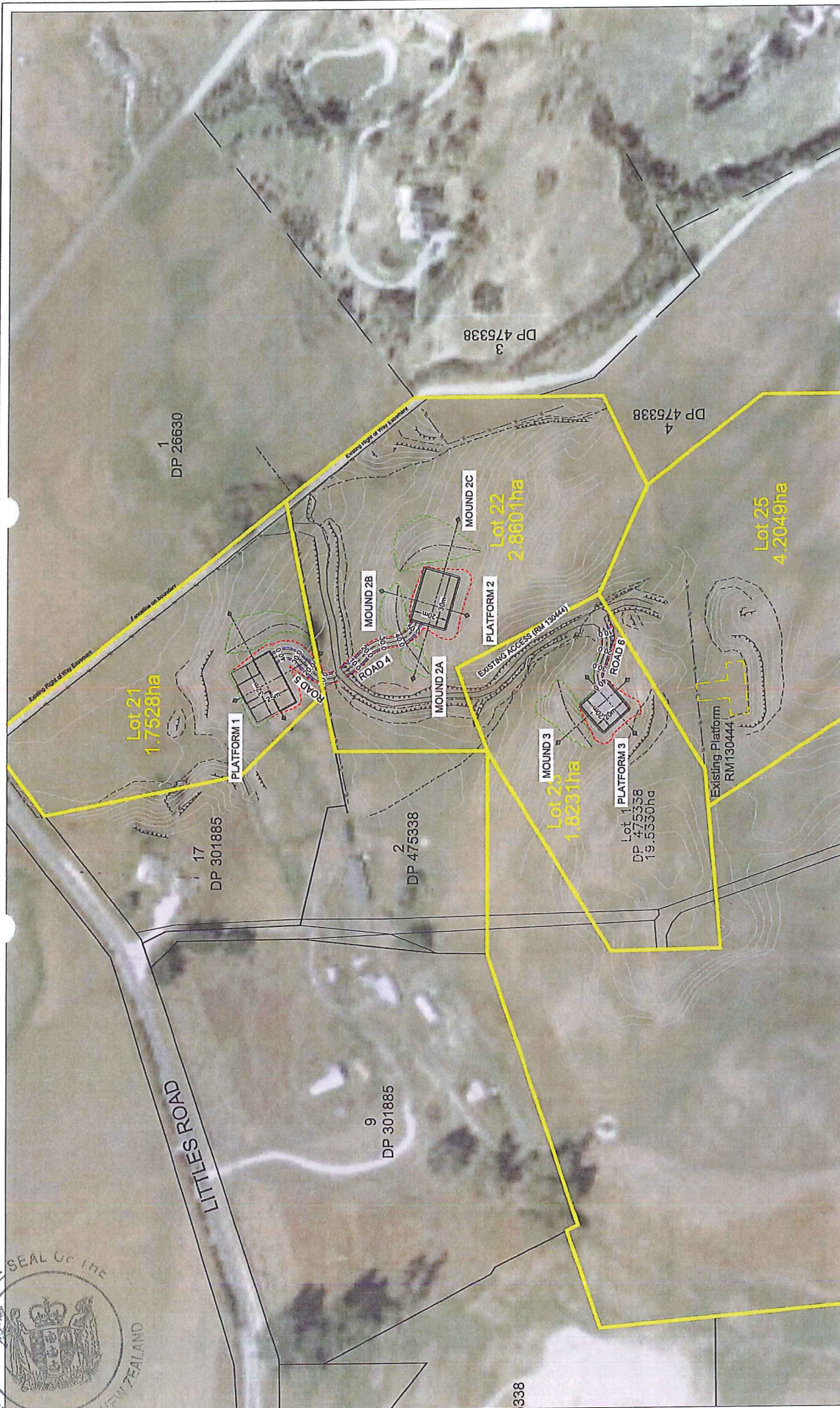
WARNING NOTE: This plan has been prepared for the client from field survey and data supplied by the client as instructed. It is to be read in conjunction with our report and should not be used by the client company for any other purpose. The plan is not to be relied on by any other person for any purpose whatsoever.

TITLE:

**PROPOSED BUILDING PLATFORMS
LITTLES STREAM
OVERALL PLAN**

D	24.02.15	Boundaries Updated	SML
C	05.5.14	Proposed lot boundaries added	JDR
B	16.5.14	Viewpoint altered	JDR
A	12.5.14	Initial issue	JDR
REV. DATE: REVISION DETAILS:			BY:

Source: *Journal of the American Statistical Association*, 1997, 92, 1303-1312. Reprinted by permission of the American Statistical Association.



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
	CUT	FILL	STRIP	IMPORTED PAVEMENT	MAX. CUT DEPTH	MAX. FILL DEPTH	AREA
ROAD 4	55m ³	15m ³	55m ³	40m ³	0.6m	0.2m	370m ²
ROAD 5	800m ³	5m ³	65m ³	30m ³	2.9m	0.2m	440m ²
ROAD 6	15m ³	30m ³	40m ³	25m ³	0.6m	0.4m	250m ²

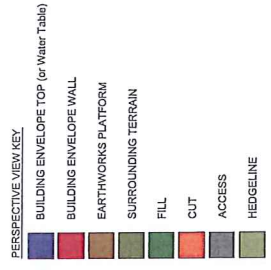
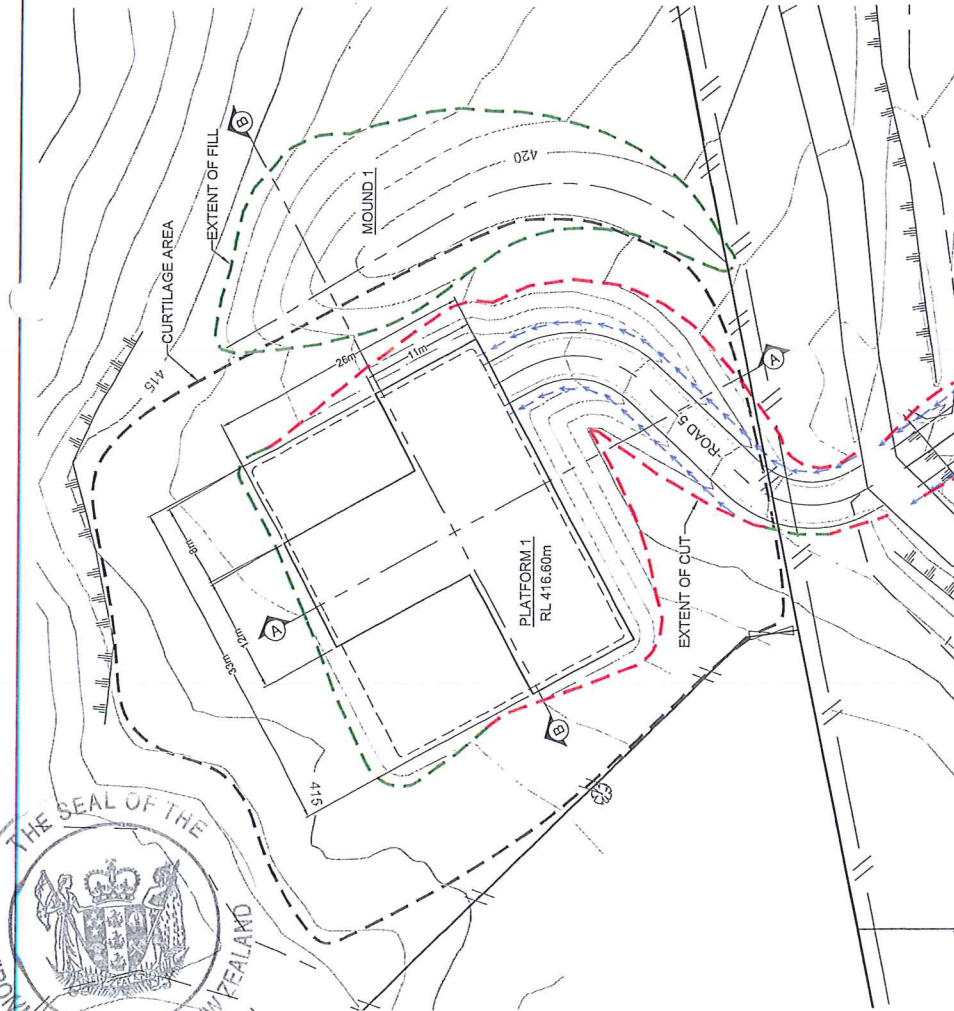
[illegible]

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PROPOSED BUILDING PLATFORMS LITTLES STREAM LAYOUT


DATE: 13 MAY 2013		 AURUM SURVEY	Scale	1:500	DRAWING & ISSUE No. 2737/24R-2D3
BY: Jason Rhind			Original Plan A3	PO Box 2403 Waketipu 9349 Ph 03 442 3466 Fax 03 442 3469 Email info@aurum.co.nz	

[illegible]

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PROPOSED BUILDING PLATFORMS
LITTLES STREAM
PLATFORM 1

DATE: 13 MAY 2013	Scale	DRAWING & ISSUE No.
BY: Jason Rhind	1:500 Original Plan A3	2737.24R.3D



AURUM
SURVEY

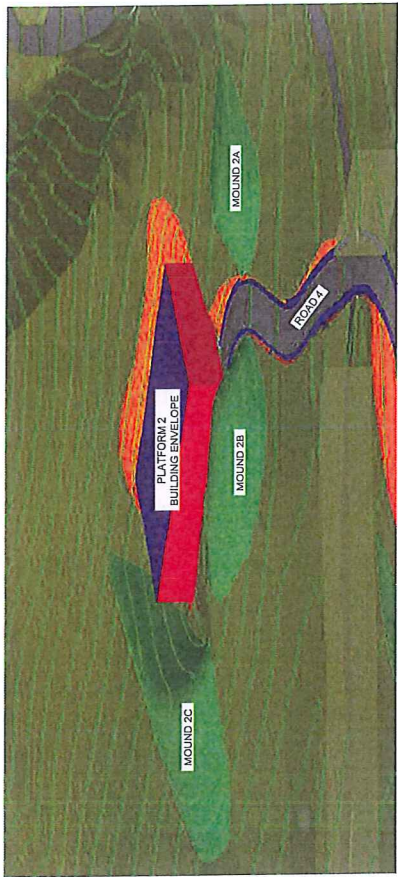
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Ph 03 442 3466
Fax 03 442 3469
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3. using the drawings and other data in any purpose and format to be verified by Aurum Survey Consultants.



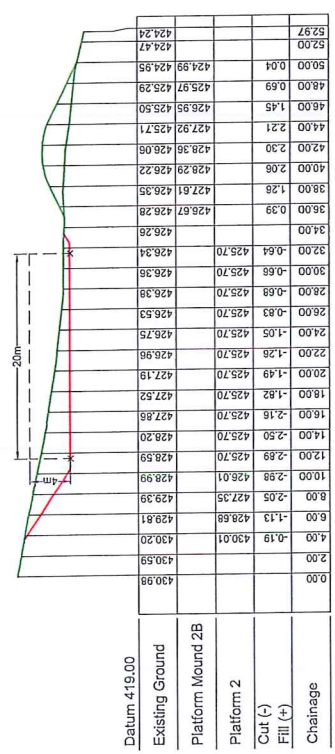
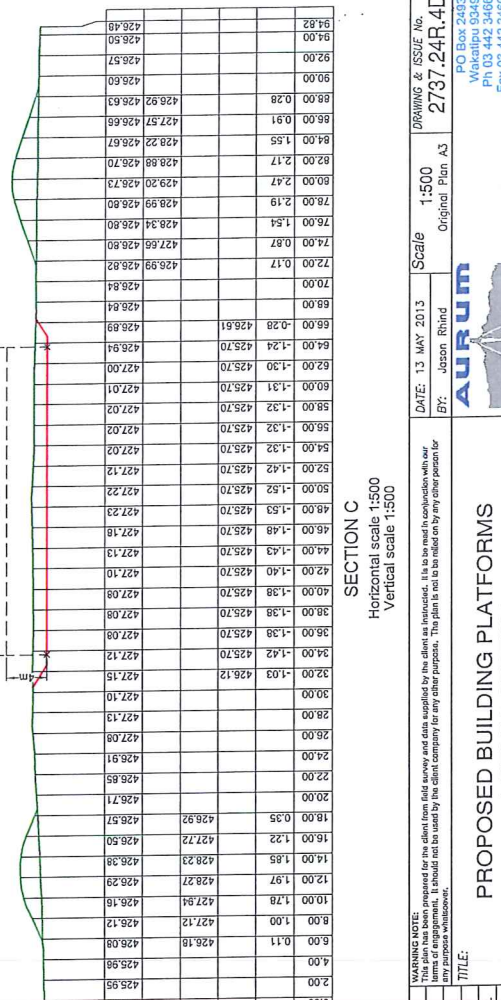
Datum 409.00
Existing Ground
Platform 1 Mount
Platform 1
Cut (-)
Fill (+)
Chainage

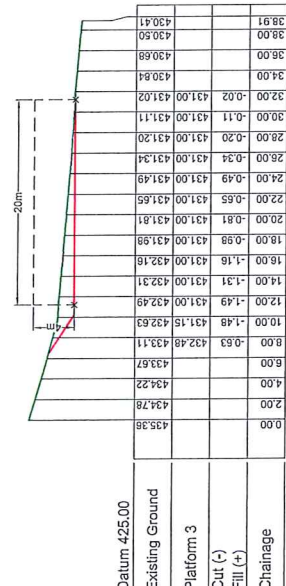
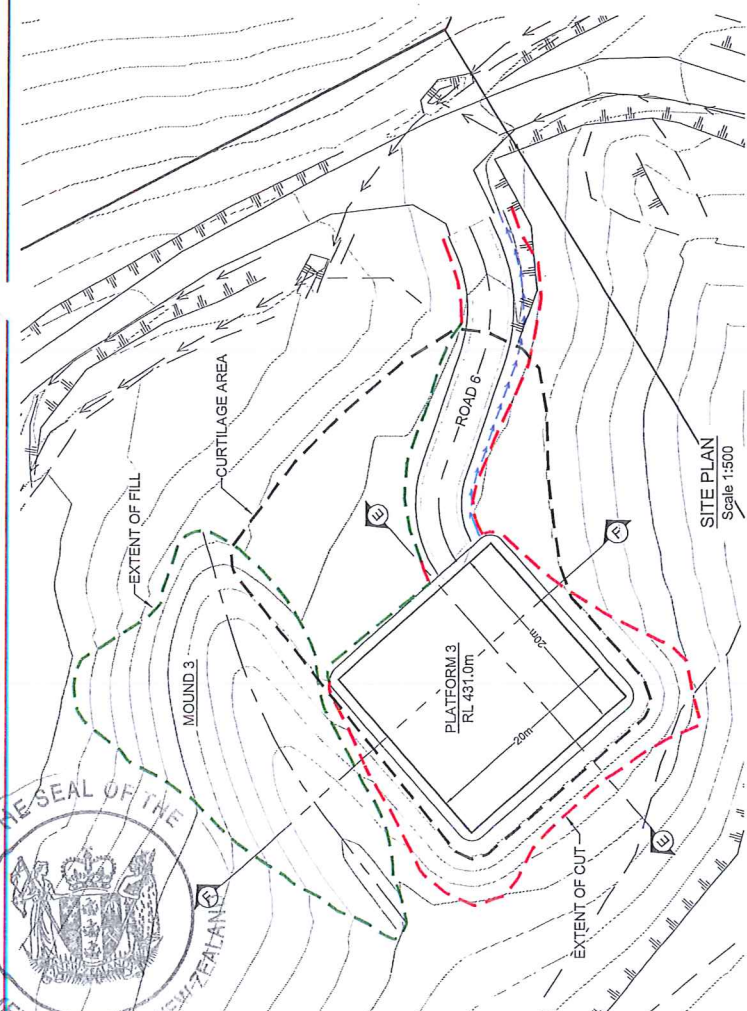


PERSPECTIVE VIEW KEY

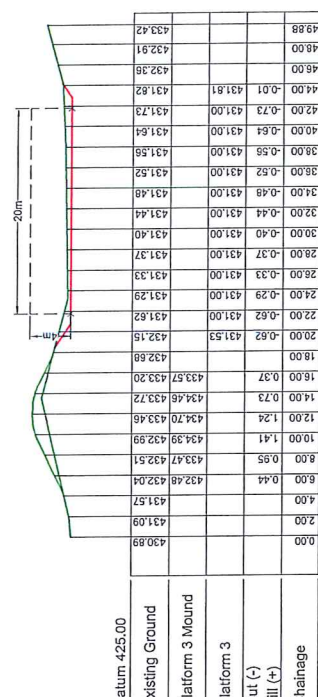
	BUILDING ENVELOPE TOP (or Water Table)
	BUILDING ENVELOPE WALL
	SURROUNDING TERRAIN
	CUT
	FILL
	ACCESS
	HEDGELINE

VOLUMES & AREAS					
	CUT	FILL	MAX. CUT DEPTH	MAX. FILL DEPTH	AREA
PLATFORM 2	1510m ³		3.2m		1080m ²
MOUND 2A		240m ³		2.7m	215m ²
MOUND 2B		405m ³		3.0m	335m ²
MOUND2C		1470m ³		3.8m	955m ²

[illegible]



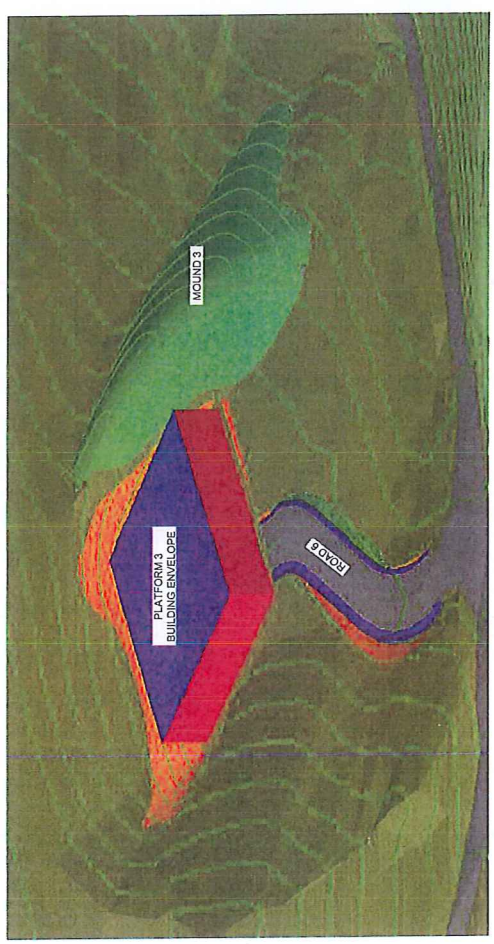
SECTION E
Horizontal scale 1:500
Vertical scale 1:500



SECTION F
Horizontal scale 1:500
Vertical scale 1:500

- PERSPECTIVE VIEW KEY
- BUILDING ENVELOPE TOP (or Water Table)
 - BUILDING ENVELOPE WALL
 - SURROUNDING TERRAIN
 - CUT
 - FILL
 - ACCESS
 - EARTHWORKS PLATFORM

VOLUMES & AREAS			
	CUT	FILL	
PLATFORM 3	545m ³		
MOUND 3		555m ³	
			2.4m
			745m ²
			615m ²



PLATFORM PERSPECTIVE VIEW

WARNING NOTE:
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TITLE:
PROPOSED BUILDING PLATFORMS
LITTLES STREAM
PLATFORM 3

REV. DATE: REVISION DETAILS:

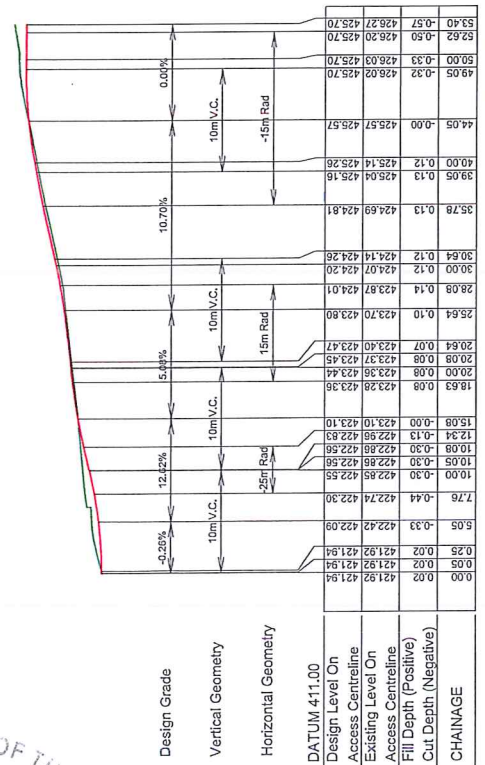
DATE: 13 MAY 2013
BY: Jason Rhind

Scale 1:500
Original Plan A3

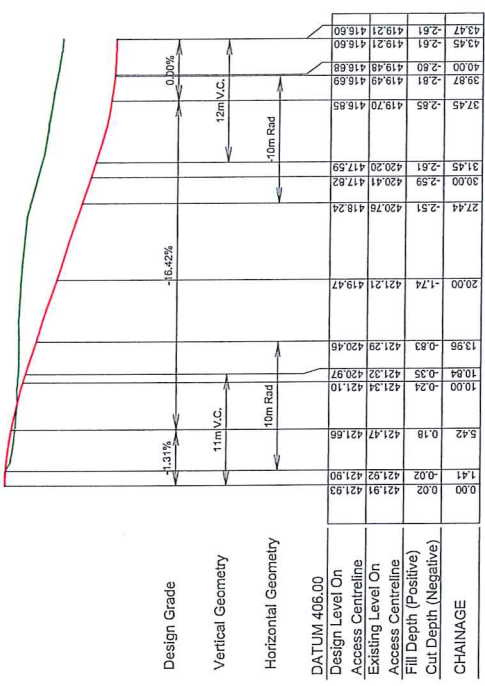
DRAWING & ISSUE No.
2737-24R.5D

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Email admin@ascl.co.nz

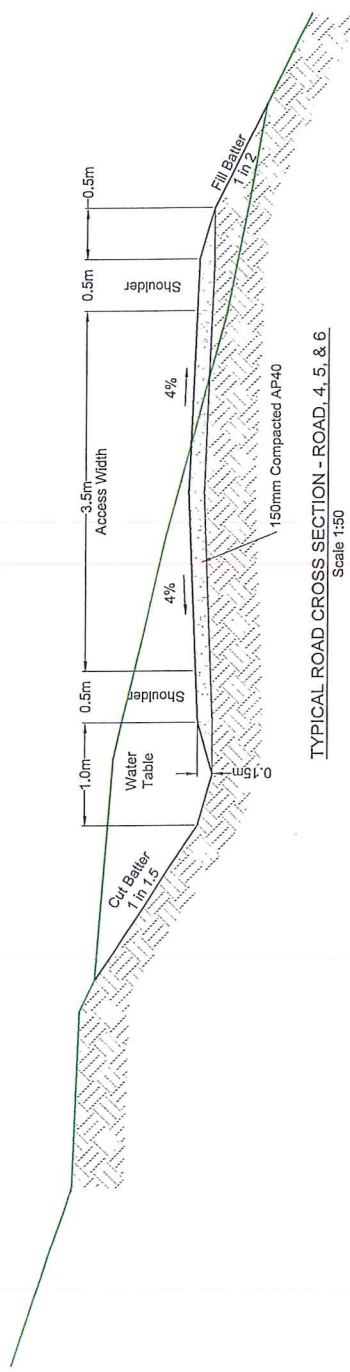
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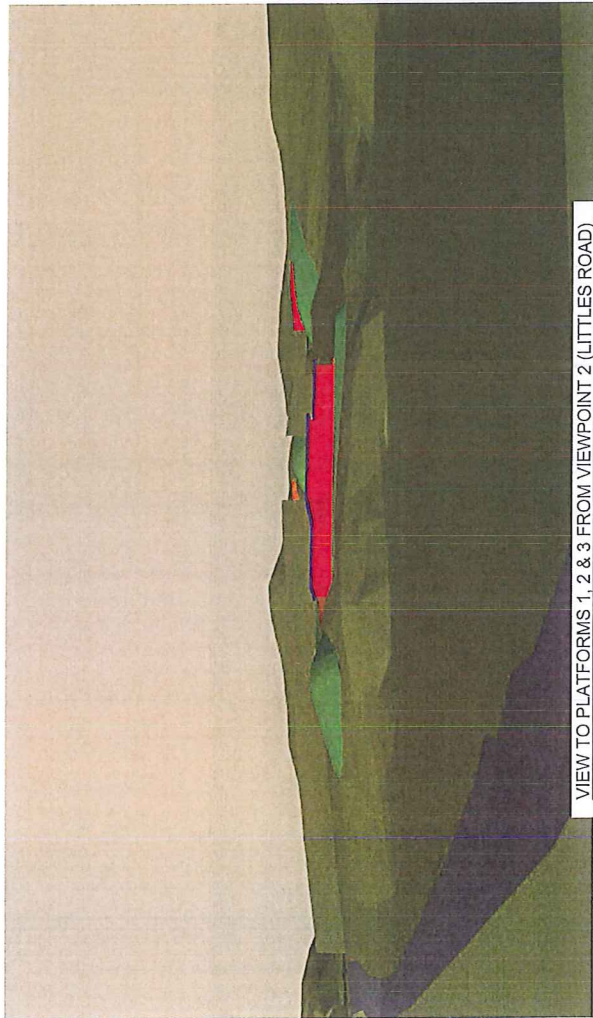
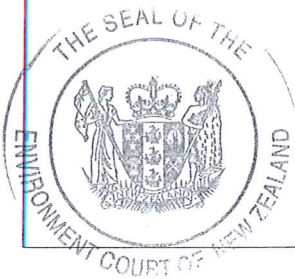
LONGITUDINAL SECTION ROAD 4 CL
Horizontal scale 1:1000 Vertical scale 1:500



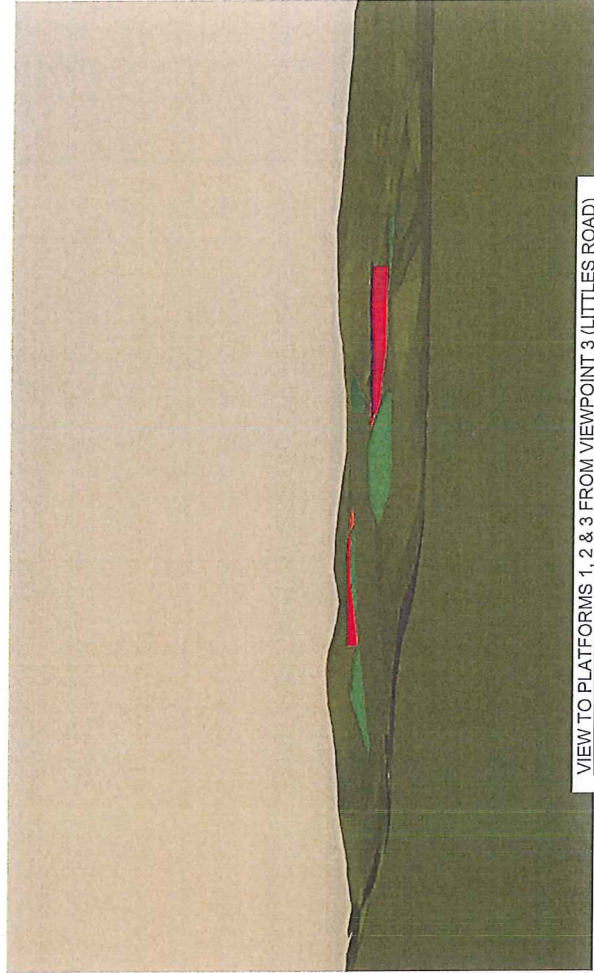
LONGITUDINAL SECTION ROAD 5 CL
Horizontal scale 1:1000 Vertical scale 1:500



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TITLE: PROPOSED BUILDING PLATFORMS LITTLES STREAM ROAD 4 & 5 LONGITUDINAL SECTION AND TYPICAL SECTION		AURUM SURVEY PO Box 2483 Waiwera 3108 Ph 03 442 3466 Fax 03 442 3469 Email admin@aurum.co.nz		
C	21.02.15	Only Road 4, 5 & 6 detailed	SMIL	
B	16.05.14	Revised 2 section added	JDR	
A	11.05.14	Initial issue	JDR	
REV.	DATE	REVISION DETAILS	BY:	



VIEW TO PLATFORMS 1, 2 & 3 FROM VIEWPOINT 2 (LITTLE'S ROAD)
DISTANCE FROM CAMERA TO TARGET 450m, SIMULATED LENS 50mm



VIEW TO PLATFORMS 1, 2 & 3 FROM VIEWPOINT 3 (LITTLE'S ROAD)
DISTANCE FROM CAMERA TO TARGET 550m, SIMULATED LENS 50mm

PERSPECTIVE VIEW KEY

BUILDING ENVELOPE TOP (or Water Table)	FILL
BUILDING ENVELOPE WALL	CUT
EARTHWORKS PLATFORM	ACCESS
SURROUNDING TERRAIN	HEDGE LINE

WARNING NOTE:

This plan has been prepared for the client from field survey and data supplied by the client as indicated. It is to be read in conjunction with our report and should not be used for any other purpose. The plan is not to be relied on for any other purpose whatsoever.

TITLE:

PROPOSED BUILDING PLATFORMS
LITTLE'S STREAM
VISIBILITY ASSESSMENT

REV.	DATE	REVISION DETAILS	BY:
C	24.02.15	Only platforms 1, 2 & 3 detailed	SWL
B	18.02.14	Viewpoints altered	JDR
A	10.02.14	Initial issue	JDR

DATE: 13 MAY 2013

BY: Jason Rhind

DRAWING & ISSUE No.

2737.24R.10C

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2. using the drawings and other data for any purpose not intended to in writing by Aurum Survey Consultants.



LEGEND

- A mix of Poplars, Ashes & Oaks (30).
Populus spp.
Fraxinus spp.
Quercus spp.
- Proposed conifer hedge to be retained at a minimum height of 5m.
- Existing conifer hedge as outlined on Structural Landscape Plan Lot 22 - Little Stream Ltd (Ref: 0898 - L22 - SLP1).
- Portuguese Laurel hedge to be kept at a minimum height of 1.4m.
- Overall curtilage area.
- Curtilage Area Section 1 shall not contain any built form that exceeds 3m in height or contain any domestic, amenity or ornamental vegetation that exceeds 4m in height at maturity.
- Curtilage Area Section 2 shall not contain any built form or vegetation that does not exceed 1.5m in height at maturity.
- Property boundary.

NOTE: The base map used in the Structural Landscape Plan was produced by Aurum Survey Consultants.

REF: 0898 - L21 - SLP1
DATE: 13.06.2014
SCALE: 1:500 @ A3



Structural Landscape Plan Lot 21 - Little Stream Ltd - Little Stream Development, Wakatipu Basin



LEGEND

- Existing conifer hedge to be retained at a minimum height of 5m.
- Proposed conifer hedge as outlined on Structural Landscape Plan Lot 21 - Little Stream Ltd (Ref: 0898 - L21 - SLP1).
- Overall curtilage area.
- Curtilage Area Section 1 shall not contain any built form that exceeds 3m in height or contain any domestic, amenity or ornamental vegetation that exceeds 4m in height at maturity.
- Property boundary.

NOTE: The base map used in the Structural Landscape Plan was produced by Aurum Survey Consultants.

REF: 0898 - L22 - SLP1
DATE: 13.06.2014
SCALE: 1:500 @ A3



Structural Landscape Plan
Lot 22 - Little Stream Ltd - Little Stream Development, Wakatipu Basin

vivian+espie
Landscape Architects
100 Galloway Drive, New Lynn, Auckland
T: 09 276 1234 F: 09 276 1235 E: info@vivian-espie.co.nz



LEGEND

- Overall curtilage area.
- CA1 Curtilage Area Section 1 shall not contain any built form that exceeds 3m in height or contain any domestic, amenity or ornamental vegetation that exceeds 4m in height at maturity.
- CA2 Curtilage Area Section 2 shall not contain any built form or vegetation that does not exceed 1.5m in height at maturity.
- Property boundary.

NOTE: The base map used in the Structural Landscape Plan was produced by Aurum Survey Consultants.

REF: 0898-L23-SLP1
DATE: 13.06.2014
SCALE: 1:500 @ A3



Structural Landscape Plan

Lot 23 - Little Stream Ltd - Little Stream Development, Wakatipu Basin