



DECISION OF THE QUEENSTOWN LAKES DISTRICT COUNCIL

RESOURCE MANAGEMENT ACT 1991

Applicant:	D Stayne & J Jones
RM reference:	RM161037
Location:	272 & 272B Ballantyne Road, Wanaka
Proposal:	Undertake a five lot subdivision and identify residential building platforms on each allotment
Type of Consent:	Subdivision Land Use Cancellation of Consent Notices
Legal Description:	Lots 1 & 2 Deposited Plan 303850 held in Computer Freehold Registers 15360 & 15361
Zoning:	Rural General
Activity Status:	Discretionary
Notification:	Public
Commissioner:	Commissioners Wendy Baker and David Whitney
Date Issued:	23 August 2017
Decision:	Consent is GRANTED, subject to conditions of subdivision consent.

IN THE MATTER

of the Resource
Management Act 1991

AND

IN THE MATTER

of the Queenstown
Lakes District Plan

IN THE MATTER

of an application for
resource consent to
undertake a five lot
subdivision and
identify residential
building platforms on
each allotment, and
consequential
cancellation of two
consent notices and
land use consent for
internal boundary
infringements.

BY

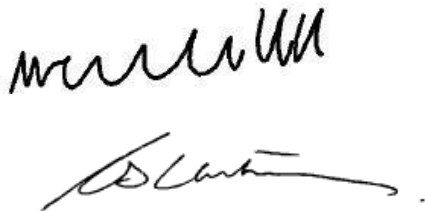
D Stayne & J Jones –
RM161037

FINAL DECISION OF COMMISSIONERS WENDY BAKER AND DAVID WHITNEY

1. The Applicant sought to undertake a five lot subdivision with associated earthworks and landscaping of Lots 1 and 2 DP 303850. Residential Building Platforms (RBPs) are to be identified on each site. Consequential cancellation of Consent Notices 5001565.2 and 5167537.2 is also sought, as well as consent to allow dwellings to be constructed on the RBPs which would breach internal setbacks between proposed Lots 2 and 5 and between proposed Lots 1 and 3.
2. We have been delegated the Queenstown Lakes District Council's powers pursuant to section 34A of the Resource Management Act 1991 (the Act/RMA) to hear and decide this application and decide on any procedural matters related to the hearing of it.
3. A hearing was held on 4 July 2017 in Wanaka. On 2 August we issued an interim decision granting Lots 1, 2, 3 and 5 with associated RBPs and landscaping in principle, subject to amended plans being provided and conditions being agreed between the Applicant and the Council.

4. Conditions and plans were provided to us on 18 August 2017 in accordance with our directions. We have reviewed these and consider that, subject to amendments to conditions, they are appropriate.
5. Section 104 of the Act directs that when considering an application for resource consent and any submission received in response to it, the Commission must, subject to Part 2, have regard to the actual and potential effects on the environment of allowing the activity together with the relevant provisions of the Operative District Plan and of the Proposed District Plan. In the course of considering the application and the submission and in reaching this decision the Commission has followed this process. Under section 104B and section 104C the Commission has discretion to grant consent to the application and the Commission hereby does so as follows:
 - A. Subdivision consent is granted to the creation of Lots 1, 2, 3 and 5 as shown on the amended plan of subdivision (Scheme Plan) provided to us on 18 August 2017 subject to the conditions attached in the Schedule to this decision.
 - B. Land use consent is granted to breach internal setbacks for buildings on the Residential Building Platforms with respect to the boundaries between Lots 1 and 3 and Lots 2 and 5, without condition or the avoidance of doubt, land use consent is not hereby granted for a building on any Residential Building Platform.
 - C. The conditions specified in the consent notices CONO 5001565.2 and CONO 5167537.2 are hereby cancelled as these relate to Lots 1 and 2 DP 303850 (now Lots 1, 2, 3 and 5 RM 161037 as consented).

23 August 2017

The image shows two handwritten signatures. The top signature is in black ink and appears to be 'Wendy Baker'. The bottom signature is in blue ink and appears to be 'David Whitney'.

Wendy Baker

David Whitney

SCHEDULE : CONDITIONS OF SUBDIVISION CONSENT FOR RM 161037 : D STAYNE AND J JONES

General

1. The subdivision shall be undertaken/carried out in accordance with the plans:
 - Scheme Plan, Lots 1, 2, 3 and 5 being a proposed staged subdivision of Lots 1 & 2 DP 303850 272 Ballantyne Road: Stayne and Jones, prepared by DPS, Rev D Aug 2017;
 - Engineering Drawings, W4790, Sheets 201-203, Rev F, prepared by Paterson Pitts Group, dated 07/08/2017 (Sheet 201) and 17/08/2017 (Sheets 202 & 203);
 - Landscape Scheme Plan Figure 4D Proposed Subdivision of Stayne-Jones Properties 272 Ballantyne Road, prepared by Anne Steven Landscape Architect, dated 18 August 2017.

stamped as approved on 23 August 2017

and the application as submitted, with the exception of the amendments required by the following conditions of consent.

2. This consent shall not be exercised and no work or activity associated with it may be commenced or continued until the following charges have been paid in full: all charges fixed in accordance with section 36(1) of the Resource Management Act 1991 (the Act) and any finalised, additional charges under section 36(3) of the Act.

Staging

3. In order to allow for the development and release of allotments in a controlled and logical manner the subdivision may be staged in any order that the consent holder sees fit provided that all allotments within each stage are adequately serviced and accessed in accordance with the conditions of this consent.

Engineering

4. All engineering works shall be carried out in accordance with the Queenstown Lakes District Council's policies and standards, being QLDC's Land Development and Subdivision Code of Practice adopted on 3 June 2015 and subsequent amendments to that document up to the date of issue of any resource consent.

Note: The current standards are available on Council's website via the following link:

<http://www.qldc.govt.nz>

To be completed prior to the commencement of any works on-site

5. The owner of the land being developed shall provide a letter to the Manager of Resource Management Engineering at Council advising who their representative is for the design and execution of the engineering works and construction works required in association with this development and shall confirm that these representatives will be responsible for all aspects of the works covered under Sections 1.7 & 1.8 of QLDC's Land Development and Subdivision Code of Practice, in relation to this development.

6. Prior to commencing works within the road reserve of Ballantyne Road, the consent holder shall submit a Traffic Management Plan to the Road Corridor Engineer at Council for approval. The Traffic Management Plan shall be prepared by a Site Traffic Management Supervisor (STMS). All contractors obligated to implement temporary traffic management plans shall employ a qualified STMS on site. The STMS shall implement the Traffic Management Plan. A copy of the approved Traffic Management Plan shall be submitted to the Manager of Resource Management Engineering at Council prior to works commencing.
7. The consent holder shall install measures to control and/or mitigate any dust, silt run-off and sedimentation that may occur, in accordance with QLDC's Land Development and Subdivision Code of Practice and '*A Guide to Earthworks in the Queenstown Lakes District*' brochure, prepared by the Queenstown Lakes District Council. These measures shall be implemented prior to the commencement of any earthworks on site and shall remain in place for the duration of the project, until all exposed areas of earth are permanently stabilised.
8. Prior to commencing any works on the site, the consent holder shall obtain 'Engineering Review and Acceptance' from the Queenstown Lakes District Council for all development works and information requirements specified below. An 'Engineering Review and Acceptance' application shall be submitted to the Manager of Resource Management Engineering at Council and shall include copies of all specifications, calculations, design plans and Schedule 1A design certificates as is considered by Council to be both necessary and adequate, in accordance with Condition 4, to detail the following requirements:
 - a) Provision of a minimum supply of 2,100 litres per day of potable water to the building platforms on Lots 1, 2, 3 and 5 that complies with/can be treated to consistently comply with the requirements of the Drinking Water Standard for New Zealand 2005 (Revised 2008).
 - b) The provision of secondary flow paths to contain overland flows in a 1 in 100 year event so that there is no inundation of any buildable areas on Lots 1, 2, 3 and 5, and no increase in run-off onto land beyond the site from the pre-development situation.
 - c) The formation of the right of way and access to the Lot 5 building platform, in accordance with Council's standards. This shall include:
 - i) The right of way and access in accordance with QLDC Land Development and Subdivision Code of Practice Table 3.2 Figure E1.
 - ii) The gradient of the access way shall not exceed 1:6.
 - iii) The carriageway shall have a minimum cross-fall of 4% to prevent stormwater ponding on the carriageway surface.
 - iv) Drainage swales shall be provided for stormwater disposal from the carriageway. The invert of the water channel shall be at least 200mm below the lowest portion of the subgrade.

To be monitored throughout earthworks

9. No permanent batter slope within the site shall be formed at a gradient that exceeds 1:1.

10. The consent holder shall implement suitable measures to prevent deposition of any debris on surrounding roads by vehicles moving to and from the site. In the event that any material is deposited on any roads, the consent holder shall take immediate action, at his/her expense, to clean the roads. The loading and stockpiling of earth and other materials shall be confined to the subject site.
11. No earthworks, temporary or permanent, are to breach the boundaries of the site, except for the works required to upgrade the vehicle crossing and construct the right of way to serve Lot 5.
12. All earth mounding is to be contoured to blend seamlessly and naturally into the surrounding natural landform. All areas of earthworks to be re-sown in grass within three months of completion of the earthworks and/or planted within the relevant areas in accordance with the plan entitled 'Fig. 4D Landscape Scheme Plan...' by Anne Steven Landscape Architect dated 18 August 2017 and the structural planting plan for Lot 5 certified under Condition 13.

Landscape Planting

13. A structural planting plan for Lot 5 based on the plan entitled 'Fig. 4D Landscape Scheme Plan...' by Anne Steven Landscape Architect dated 18 August 2017 shall be submitted for certification by Council's Landscape Architect. The plan shall include a planting schedule for all structural planting (trees and shrubs) on Lot 5, and shall identify species, grades, spacing, quantity of planting and a specification for site preparation, planting and aftercare.

To be completed before Council approval of the Survey Plan for the relevant stage

14. Prior to the Council signing the Survey Plan pursuant to section 223 of the Resource Management Act 1991, the consent holder shall complete the following:
 - a) All necessary easements shall be shown in the Memorandum of Easements attached to the Survey Plan and shall be duly granted or reserved.
 - b) The Residential Building Platforms on Lot 2 and Lot 5 shall be shown on the Survey Plan.
 - c) The names of all roads, private roads and private ways which require naming in accordance with Council's road naming policy shall be shown on the Survey Plan.

[Notes:

1. *The road naming application should be submitted to Council prior to the application for the section 223 certificate.*
2. *For clarification condition 14c) will apply to the access that serves the Sundance Ridge development]*

To be completed before issue of the s224(c) certificate for the relevant stage

15. Prior to certification pursuant to section 224(c) of the Resource Management Act 1991, the consent holder shall complete the following:

- a) The consent holder shall provide “as-built” plans and information required to detail all engineering works completed in relation to or in association with this subdivision to the Subdivision Planner at Council. This information shall be formatted in accordance with Council’s ‘as-built’ standards and shall include all Roads (including right of ways) and Water reticulation (including private laterals and toby positions).
- b) A digital plan showing the location of all Residential Building Platforms as shown on the Survey Plan shall be submitted to the Subdivision Planner at Council. This plan shall be in terms of New Zealand Transverse Mercator 2000 coordinate system (NZTM2000), NZGDM 2000 datum.
- c) The completion and implementation of all certified works detailed in Condition 8 above.
- d) The existing vehicle crossing to serve Lots 1, 2 and 3 from Ballantyne Road shall be upgraded and sealed to comply with Diagram 2 Appendix 7 of the Operative District Plan. This shall be trafficable in all weathers and be capable of withstanding an axle load of 8.2 tonnes or have a load bearing capacity of no less than the public roadway serving the property, whichever is the lower. Provision shall be made to continue any roadside drainage.
- e) If necessary the consent holder shall remove the Eucalyptus trees located within Ballantyne Road so these do not restrict sight lines to the entrance to the right of way to serve Lots 1, 2 and 3 in accordance with Diagram 1 Appendix 7 and Sight Distance Table 3 of Chapter 14 to the Operative District Plan.
- f) The consent holder shall submit to the Subdivision Planner at Council chemical and bacterial tests of the water supply that clearly demonstrate compliance with the Drinking Water Standards for New Zealand 2005 (Revised 2008). The chemical test results shall be no more than 5 years old, and the bacterial test results shall be no more than 3 months old, at the time of submitting the test results. The testing must be carried out by a Ministry of Health recognised laboratory (refer to <http://www.drinkingwater.co.nz/mohlabs/labmain.asp>).
- g) In the event that the test results required in Condition 15(f) above show the water supply does not conform to the Drinking Water Standards for New Zealand 2005 (Revised 2008) then a suitably qualified and experienced professional shall provide a water treatment report to the Subdivision Planner at Council for review and certification. The water treatment report shall contain full details of any treatment systems required to achieve potability, in accordance with the Standards. The consent holder shall then complete the following:
 - i) The consent holder shall install a treatment system that will treat the subdivision water supply to a potable standard on an ongoing basis, in accordance with Drinking Water Standards for New Zealand 2005 (Revised 2008). The design shall be subject to review and certification by Council prior to installation and shall be implemented prior to the issue of section 224(c) certification for the subdivision.

OR

- ii) A consent notice shall be registered on the relevant Computer Freehold Registers for the lots, subject to the approval of Council. The consent notice shall require that prior to occupation of the dwelling an individual water treatment system shall be installed in accordance with the findings and recommendations contained within the water treatment report submitted for the RM161037 subdivision consent. The final wording of the consent notice shall be reviewed and approved by Council's solicitors prior to registration.
- h) The consent holder shall establish a suitable management entity which shall be responsible for implementing and maintaining the on-going maintenance of the water supply associated with the subdivision.

The legal documents that are used to set up or that are used to engage the management entity are to be checked and approved by the Council's solicitors at the consent holder's expense to ensure that all of the Council's interests and liabilities are adequately protected.

- i) The consent holder shall provide the Subdivision Planner at Council with a copy of the operation and maintenance manuals for the private water supply or shall provide evidence that this has been made available to the management company entity.
- j) Written confirmation shall be provided from the electricity network supplier responsible for the area, that provision of an underground electricity supply has been made available (minimum supply of single phase 15kva capacity) to the boundary of Lot 3 and Lot 5 and that all the network supplier's requirements for making such means of supply available have been met.
- k) Written confirmation shall be provided from the telecommunications network supplier responsible for the area, that provision of underground telephone services has been made available to the boundary of Lot 3 and Lot 5 and that all the network supplier's requirements for making such means of supply available have been met.
- l) All signage shall be installed in accordance with Council's signage specifications and all necessary road markings completed on all public or private roads (if any), created by this subdivision.
- m) Road naming shall be carried out, and signs installed, in accordance with Council's road naming policy.
- n) All earthworked/exposed areas shall be top-soiled and grassed/revegetated or otherwise permanently stabilised.
- o) Domestic water and firefighting storage is to be provided to the existing dwellings located on Lots 1 and 2. A minimum of 20,000 litres shall be maintained at all times as a static firefighting reserve within a 30,000 litre tank. Alternatively, a 7,000 litre firefighting reserve is to be provided for each dwelling in association with a domestic sprinkler system installed to an approved standard. A firefighting connection in accordance with Appendix B - SNZ PAS 4509:2008 (or superseding standard) is to be located no further than 90 metres, but no closer than 6 metres, from any proposed building on the site. Where pressure at the connection point/coupling is less than 100kPa (a suction source - see Appendix B, SNZ PAS 4509:2008 section B2), a 100mm Suction Coupling (Female)

complying with NZS 4505, is to be provided. Where pressure at the connection point/coupling is greater than 100kPa (a flooded source - see Appendix B, SNZ PAS 4509:2008 section B3), a 70mm Instantaneous Coupling (Female) complying with NZS 4505, is to be provided. Flooded and suction sources must be capable of providing a flow rate of 25 litres/sec at the connection point/coupling. The reserve capacities and flow rates stipulated above are relevant only for single family dwellings. In the event that the proposed dwellings provide for more than single family occupation then the consent holder should consult with Fire and Emergency New Zealand (FENZ) as larger capacities and flow rates may be required.

The FENZ connection point/coupling must be located so that it is not compromised in the event of a fire.

The connection point/coupling shall have a hardstand area adjacent to it (within 5m) that is suitable for parking a FENZ appliance. The hardstand area shall be located in the centre of a clear working space with a minimum width of 4.5 metres. Pavements or roadways providing access to the hardstand area must have a minimum formed width as required by Council's standards for rural roads (as per Council's Land Development and Subdivision Code of Practice). The roadway shall be trafficable in all weathers and be capable of withstanding an axle load of 8.2 tonnes or have a load bearing capacity of no less than the public roadway serving the property, whichever is the lower. Access shall be maintained at all times to the hardstand area.

Underground tanks or tanks that are partially buried (provided the top of the tank is no more than 1 metre above ground) may be accessed by an opening in the top of the tank whereby couplings are not required. A hardstand area adjacent to the tank is required in order to allow a FENZ appliance to park on it and access to the hardstand area must be provided as above.

The FENZ connection point/coupling/fire hydrant/tank must be located so that it is clearly visible and/or provided with appropriate signage to enable connection of a fire appliance.

Firefighting water supply may be provided by means other than the above if the written approval of Fire and Emergency New Zealand's Fire Risk Management Officer is obtained for the proposed method. The firefighting water supply tank and/or the sprinkler system shall be installed prior to the occupation of the building.

- p) The consent holder shall remedy any damage to all existing road surfaces and berms that result from work carried out for this consent.
- q) For Lot 2 and 3, the consent holder shall complete the planting shown on the plan entitled 'Fig.4D Landscape Scheme Plan....' by Anne Steven Landscape Architect dated 18 August 2017 on that lot, and thereafter such planting shall be maintained and irrigated, consistent with that plan.
- r) For Lot 5, the structural planting plan certified under Condition 13 shall be implemented by the consent holder, and thereafter shall be maintained and irrigated, consistent with that plan.

Ongoing Conditions/Consent Notices

16. The following conditions of the consent shall be complied with in perpetuity and shall be registered on the relevant Computer Freehold Registers by way of Consent Notice pursuant to section 221 of the Act.

Design Controls

- a) All residential buildings (except sheds and water tanks) shall be contained within the Residential Building Platforms on Lot 3 and Lot 5 as shown on the Survey Plan.
- b) There shall be no further subdivision of Lots 1, 2, 3 and 5.
- c) All buildings within Lots 2 and 3 shall be set back at least 95 metres from the Ballantyne Road boundary.

[Note: If at any time Lot 1, Lot 2, Lot 3 and/or Lot 5 is/are rezoned from Rural General to a zoning or an overlay that provides for rural lifestyle or rural residential or urban subdivision and land uses then conditions (a) to (c) shall be deemed to be redundant and may be cancelled if an application is made pursuant to section 221(3)(a) of the Act].

- d) The maximum height for all buildings within the building platform on Lot 3 shall be 6 metres above existing ground level. Buildings on the building platform on Lot 5 shall be a maximum height of 4.5 metres above RL 340.64 Dunedin Vertical Datum 1958.
- e) Building roofs shall be coloured natural greens, greys, or browns with a light reflectance value (LRV) of between 10 and 15% and shall have a matte finish, or a living 'green' roof with vegetation to blend into the surrounding landscape.
- f) Exterior building elements except roofs shall be natural greens, greys or browns with an LRV of between 15 and 35%. Mortar in stonework shall not exceed 40% coverage and shall be tinted a grey-brown colour to avoid strong contrast.
- g) All exterior lighting shall be restricted to the immediate building area or affixed to buildings and shall be down lighting only. There shall be no external lighting outside the building platform. Lighting shall be directed downward so as to avoid night sky light pollution and to avoid light overspill beyond the domestic curtilage area.
- h) Water tanks shall be partly buried and/or screened by vegetation so that they are not visible from outside the lot and shall not break skylines or ridgelines when viewed from public places and roads, and shall be screened from public view by plantings or other landscaping. Vegetation shall appear as an integral part of wider landscape plantings so attention is not drawn to the tank location.
- i) All residential domestic elements including but not limited to water tanks, amenity gardens and garden structures, mown lawns, paved areas, storage sheds, play structures, swimming pools, tennis courts, clothes lines, stored caravans and boats shall be contained within the curtilage defined for each lot on the plan entitled 'Fig.4D Landscape Plan...' by Anne Steven Landscape Architect dated 18 August 2017.

- j) Lot boundary and internal fencing outside the curtilage area shall be limited to timber post and wire, or timber post and wire/netting for lot boundaries. Curtilage fencing shall be limited to timber post and wire/netting or timber post and rail.
- k) All vehicle gateways onto Ballantyne Road are not to be visually obtrusive (monumental) and shall be consistent with traditional farm gateways. Gates shall be of timber or metal only, with gate supports of timber, metal or schist stone only and no more than 2m in length. Gateways shall not exceed 1.2m in height. Lighting shall not be installed at gateways.

Landscape Management

- l) All existing trees and shrubs and planting and all new planting as shown on the plan entitled 'Fig.4D Landscape Scheme Plan....' by Anne Steven Landscape Architect dated 18 August 2017 and on the certified structural planting plan for Lot 5 shall be maintained and irrigated, consistent with the relevant plan. If any tree or plant shall die or become diseased or damaged it shall be replaced with a similar species without wilding propensity within the next planting season.

Management Entity

- m) All lot owners are required to be part of the management entity as required by Condition 15(h) of RM161037. This management entity shall be established and maintained at all times and ensure implementation and maintenance of all internal water infrastructure and facilities associated with the development.
- n) In the absence of a management entity, or in the event that the management entity established is unable to undertake, or fails to undertake, its obligations and responsibilities stated above, then the lot owners shall be responsible for establishing a replacement management entity and, in the interim, the lot owners shall be responsible for undertaking all necessary functions.

Services

- o) At the time a dwelling is erected on Lots 1, 2, 3 and 5, the owner for the time being shall engage a suitably experienced person as defined in sections 3.3 & 3.4 of AS/NZS 1547:2012 to design an onsite effluent disposal system in compliance with AS/NZS 1547:2012. The design shall take into account the site and soils investigation report by Dominic Stayne, dated 24 August 2016. The proposed wastewater system shall be subject to Council review and acceptance prior to implementation and shall be installed prior to occupation of the dwelling.
- p) The wastewater disposal field shall be blocked off to vehicular traffic and stock. This shall be achieved through use of a physical barrier, such as fencing or other suitable measures that will prevent vehicles and stock from passing over the disposal area.
- q) At the time that a dwelling is erected on Lots 1, 2, 3 and 5, the owner for the time being is to treat the domestic water supply by filtration and disinfection (if required) so that it complies with the Drinking Water Standards for New Zealand 2005 (Revised 2008).

- r) At the time a dwelling is erected on Lots 3 and 5 domestic water and firefighting storage is to be provided. A minimum of 20,000 litres shall be maintained at all times as a static firefighting reserve within a 30,000 litre tank. Alternatively, a 7,000 litre firefighting reserve is to be provided for each dwelling in association with a domestic sprinkler system installed to an approved standard. A firefighting connection in accordance with Appendix B - SNZ PAS 4509:2008 (or superseding standard) is to be located no further than 90 metres, but no closer than 6 metres, from any proposed building on the site. Where pressure at the connection point/coupling is less than 100kPa (a suction source - see Appendix B, SNZ PAS 4509:2008 section B2), a 100mm Suction Coupling (Female) complying with NZS 4505, is to be provided. Where pressure at the connection point/coupling is greater than 100kPa (a flooded source - see Appendix B, SNZ PAS 4509:2008 section B3), a 70mm Instantaneous Coupling (Female) complying with NZS 4505, is to be provided. Flooded and suction sources must be capable of providing a flow rate of 25 litres/sec at the connection point/coupling. The reserve capacities and flow rates stipulated above are relevant only for single family dwellings. In the event that the proposed dwellings provide for more than single family occupation then the consent holder should consult with Fire and Emergency New Zealand (FENZ) as larger capacities and flow rates may be required.

The FENZ connection point/coupling must be located so that it is not compromised in the event of a fire.

The connection point/coupling shall have a hardstand area adjacent to it (within 5m) that is suitable for parking a FENZ appliance. The hardstand area shall be located in the centre of a clear working space with a minimum width of 4.5 metres. Pavements or roadways providing access to the hardstand area must have a minimum formed width as required by Council's standards for rural roads (as per Council's Land Development and Subdivision Code of Practice). The roadway shall be trafficable in all weathers and be capable of withstanding an axle load of 8.2 tonnes or have a load bearing capacity of no less than the public roadway serving the property, whichever is the lower. Access shall be maintained at all times to the hardstand area.

Underground tanks or tanks that are partially buried (provided the top of the tank is no more than 1 metre above ground) may be accessed by an opening in the top of the tank whereby couplings are not required. A hardstand area adjacent to the tank is required in order to allow a FENZ appliance to park on it and access to the hardstand area must be provided as above.

The FENZ connection point/coupling/fire hydrant/tank must be located so that it is clearly visible and/or provided with appropriate signage to enable connection of a fire appliance.

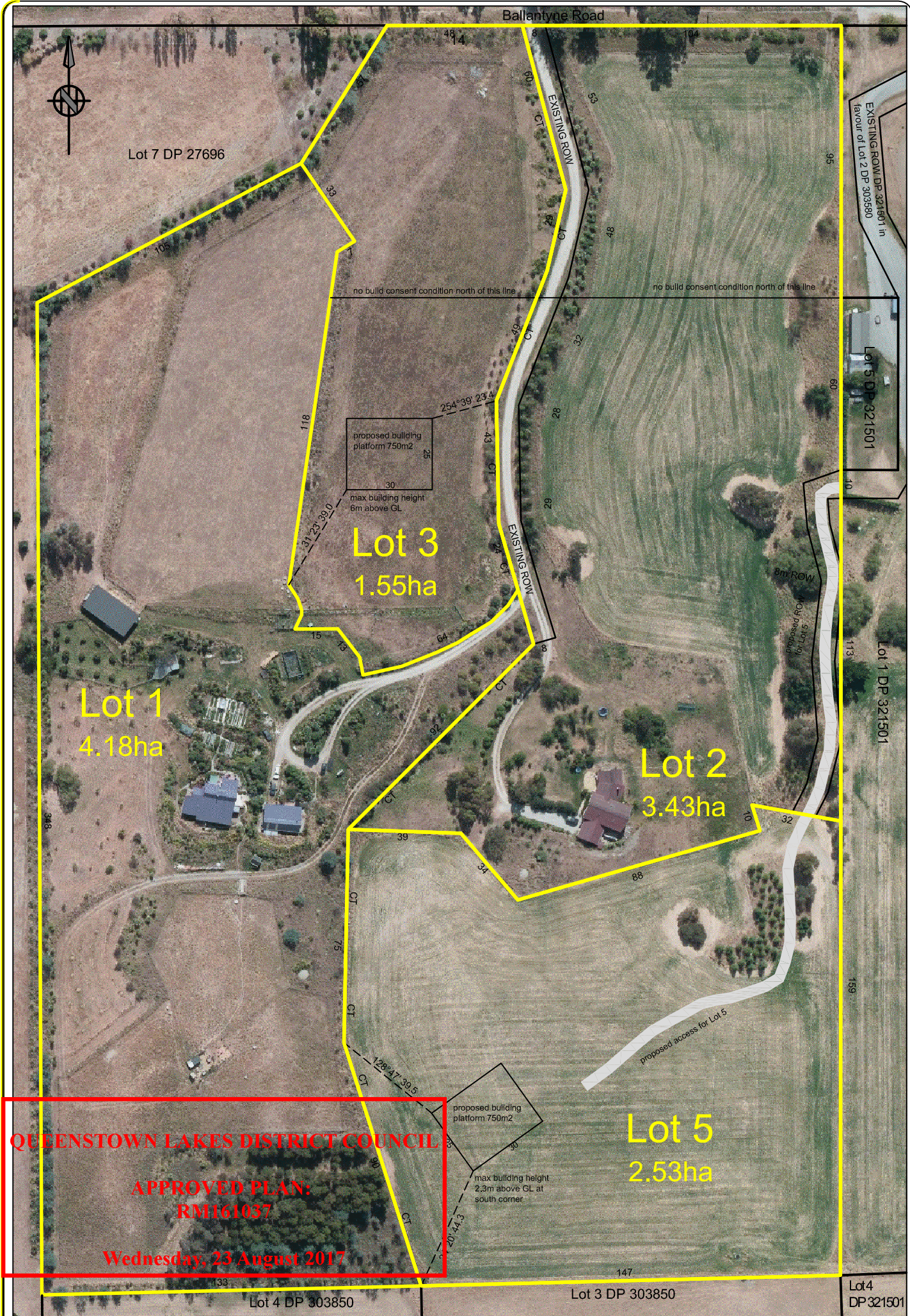
Firefighting water supply may be provided by means other than the above if the written approval of Fire and Emergency New Zealand's Fire Risk Management Officer is obtained for the proposed method. The firefighting water supply tank and/or the sprinkler system shall be installed prior to the occupation of the building.

Advice Note: FENZ considers that often the best method to achieve compliance with SNZ PAS 4509:2008 is through the installation of a home sprinkler system in accordance with Fire Systems for Houses SNZ 4517:2010, in each new dwelling. Given that the proposed dwellings are approximately 4km from the nearest FENZ Fire Station the response times of the New Zealand Volunteer Fire Brigade in an emergency situation may be

constrained. It is strongly encouraged that a home sprinkler system be installed in any new dwelling.

Advice Notes:

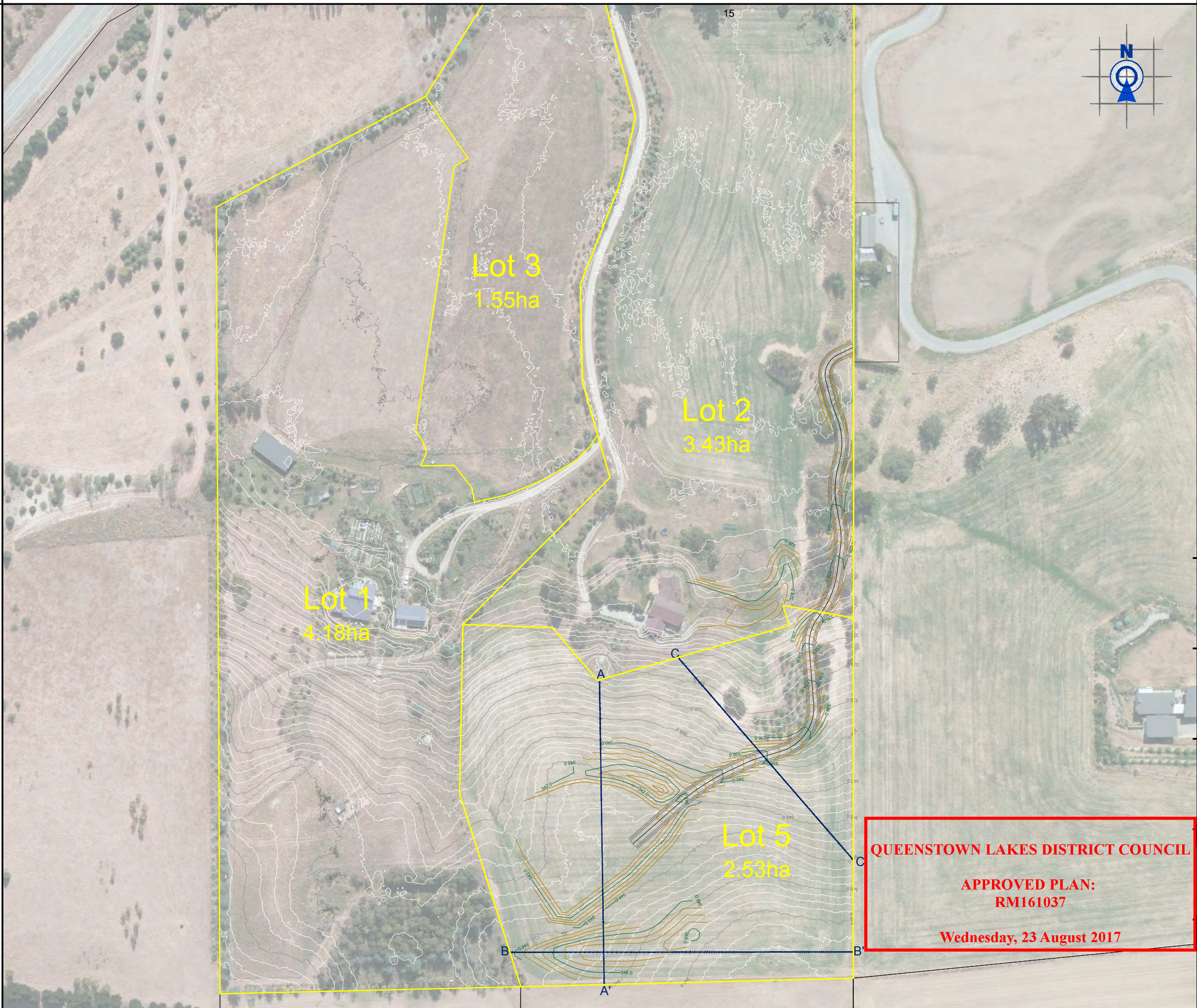
1. This consent triggers a requirement for Development Contributions, please see the attached information sheet for more details on when a development contribution is triggered and when it is payable. For further information please contact the DCN Officer at Council.
2. The consent holder is advised to obtain any necessary consents from the Otago Regional Council for the water supply.
3. Attention is drawn to the archaeological authority provisions of the Heritage New Zealand Pouhere Taonga Act 2014.



All dimensions subject to final survey.
The subdivision of Lots 3 and 5 from Lots 1 and 2 may be staged in any order and combination

Lots 1,2,3 & 5 being a proposed staged
subdivision of Lots 1 & 2 DP 303850
272 Ballantyne Road:Stayne & Jones

Scale 1:1250 @ A3	
Drawn DPS	Date Aug 2017
Rev D	Sheet



- NOTES
1. The contractor shall be responsible for locating all existing services prior to commencement of works. The contractor shall make good at their own expense any damage to existing services
 2. Levels are in terms of Dunedin Vertical Datum 1958
 3. All works are to be installed as per NZS 4404:2004 and QLDC amendments to those standards. Standard drawings are available from the Engineer
 4. Contours at 0.5m interval

LEGEND

CUT

- 3.0m +
- 2.5m to 3.0m
- 2.0m to 2.5m
- 1.5m to 2.0m
- 1.0m to 1.5m
- 0.5m to 1.0m
- 0.2m to 0.5m
- 0.0m to 0.2m

FILL

- 0.0m to 0.2m
- 0.2m to 0.5m
- 0.5m to 1.0m
- 1.0m to 1.5m
- 1.5m to 2.0m
- 2.0m to 2.5m
- 2.5m to 3.0m
- 3.0m +

Design contours minor (at 0.5m intervals)

Design contours major (at 2.0m intervals)

Section Views

Lot Boundaries

PATERSONPITTSGROUP
Surveying • Planning • Engineering
Your Land Professionals
www.ppgroup.co.nz
0800 PPGROUP

WANAKA
19 Reece Crescent
or P.O. Box 283
Wanaka 9343
T 03 443 0110
E wanaka@ppgroup.co.nz

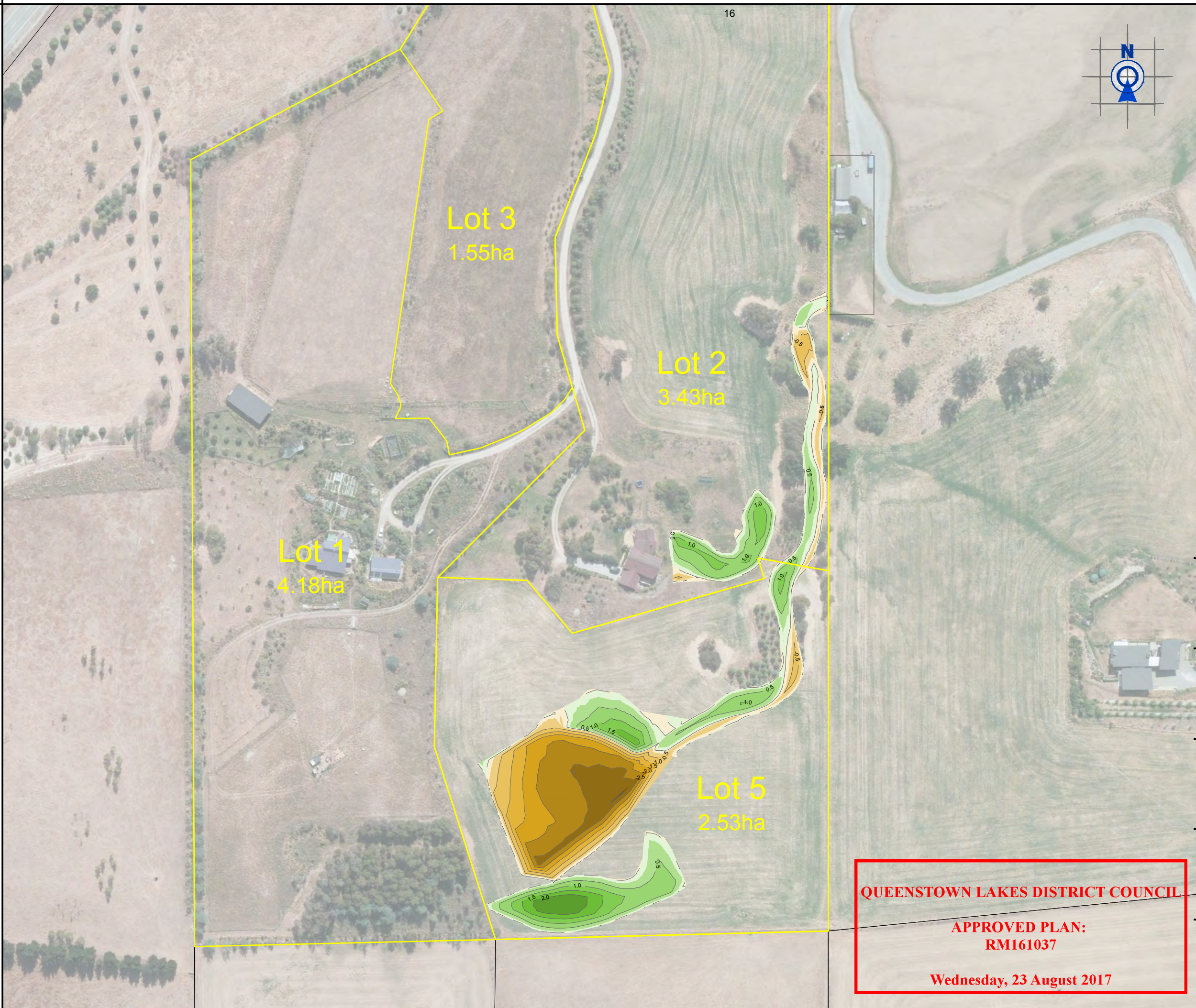
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Client & Location:
John Wellington
Ballantyne Road,
Wanaka

QUEENSTOWN LAKES DISTRICT COUNCIL
APPROVED PLAN:
RM161037
Wednesday, 23 August 2017

Purpose & Drawing Title:
Engineering Drawings
Design Contours

Surveyed by:	QLDC LIDAR	Original Size:	Scale:
Designed by:	PGS	A3	1:1600@ A3
Drawn by:	PGS		
Checked by:	DW		
Approved by:	DW		
Job No:	W4790	Sheet No:	201
		Revision No:	F
		Date Created:	07/08/2017



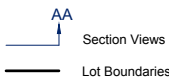
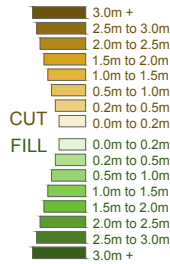
16



NOTES

1. The contractor shall be responsible for locating all existing services prior to commencement of works. The contractor shall make good at their own expense any damage to existing services
2. Levels are in terms of Dunedin Vertical Datum 1958
3. All works are to be installed as per NZS 4404:2004 and QLDC amendments to those standards. Standard drawings are available from the Engineer
4. Contours at X.Xm interval

LEGEND



Earthwork Volumes

Total Cut: 6000m³
Total Fill: 2900m³
Topsoil Strip Area: 9200m²

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Client & Location:
John Wellington
Ballantyne Road,
Wanaka

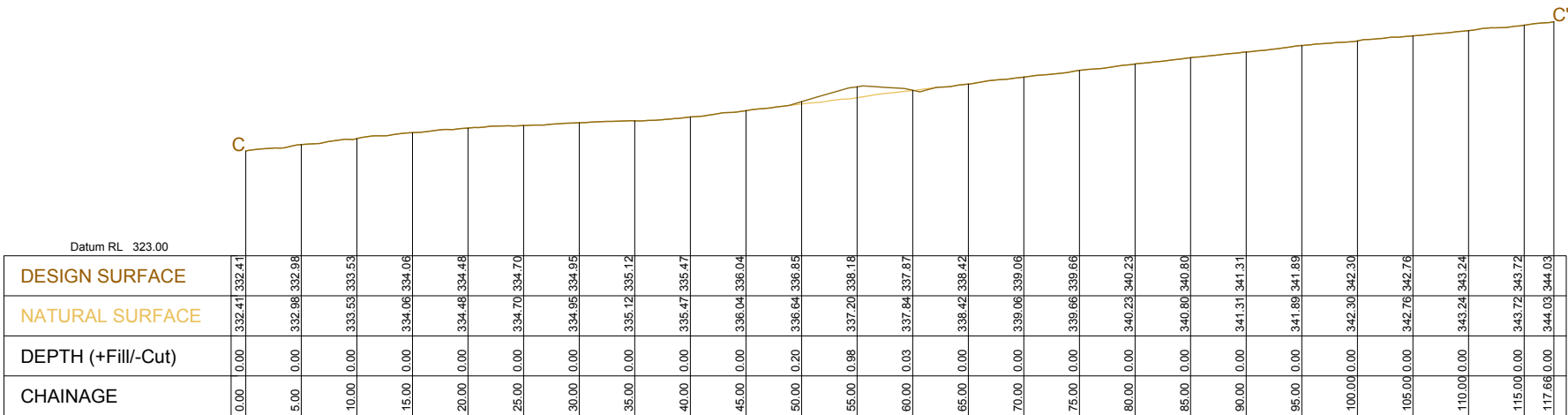
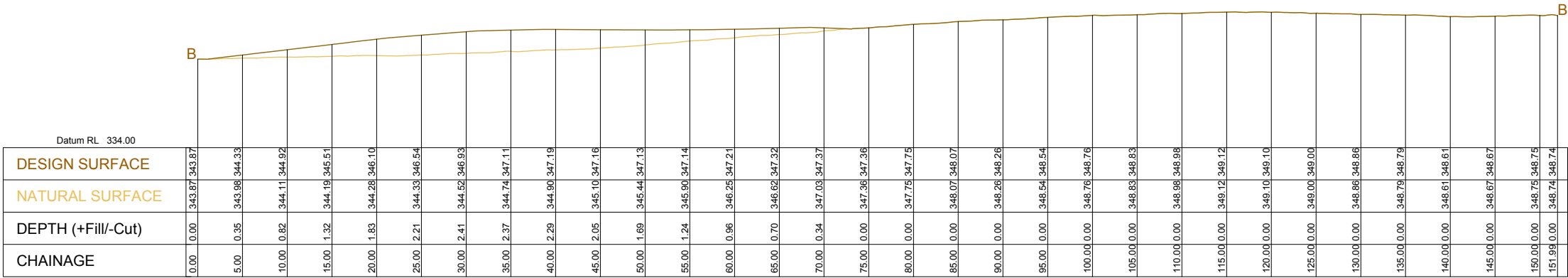
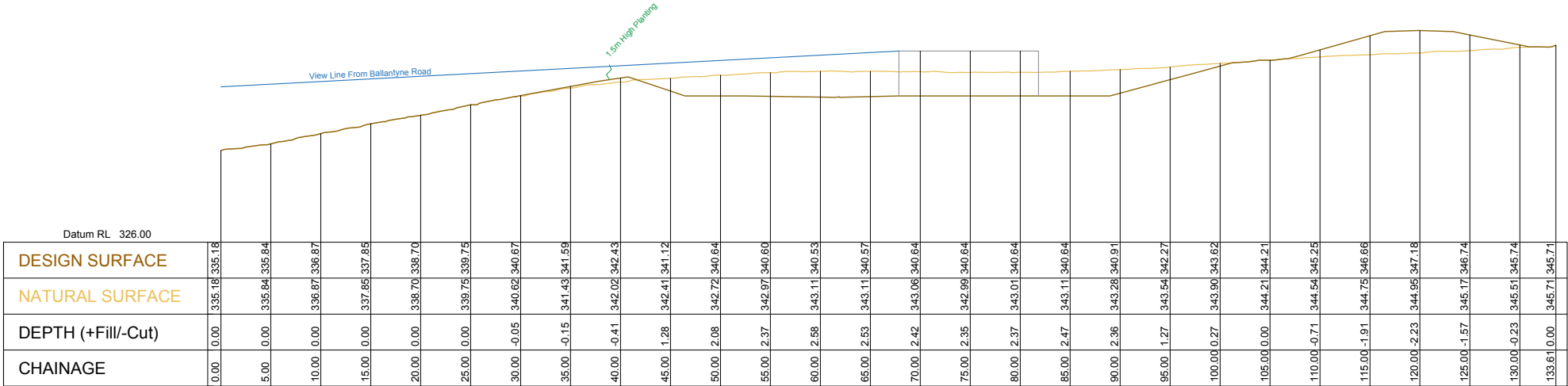
Purpose & Drawing Title:
Engineering Drawings
Cut Fill Areas

Surveyed by:	QLDC LIDAR	Original Size:	Scale:
Designed by:	PGS	A3	1:1600 @ A3
Drawn by:	PGS		
Checked by:	DW		
Approved by:	DW		
Job No:	W4790	Sheet No:	202
		Revision No:	F
		Date Created:	17/08/2017

QUEENSTOWN LAKES DISTRICT COUNCIL

APPROVED PLAN:
RM161037

Wednesday, 23 August 2017



QUEENSTOWN LAKES DISTRICT COUNCIL

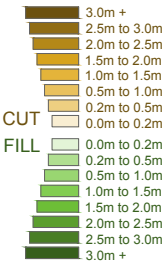
APPROVED PLAN:
RM161037

Wednesday, 23 August 2017

NOTES

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4. Contours at 1.0m interval

LEGEND



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Client & Location:

John Wellington
Ballantyne Road,
Wanaka

Purpose & Drawing Title:

Engineering Drawings
Site Cross Sections

Surveyed by:	QLDC LIDAR	Original Size:	Scale:
Designed by:	PGS	A3	1:600 @ A3
Drawn by:	PGS		
Checked by:	DW		
Approved by:	DW		
Job No:	W4790	Sheet No:	203
		Revision No:	F
		Date Created:	17/08/2017

